

AGENDA
TOWN OF INDIALANTIC BOARD OF ADJUSTMENT
September 9, 2020 AT 5:30 P.M.

NOTICE: This meeting will not be held at Town Hall. This meeting will be held utilizing Communications Media Technology in accordance with Governor DeSantis' Executive Order No. 20-69 and Town Emergency Order #2020-09. Those wishing to attend the meeting are encouraged to join the meeting online using the Zoom Webinar platform or by telephone.

Please click the link below to join the webinar:

<https://zoom.us/j/94433403886?pwd=ZWJETnd2MU10ek1SbXdQbINJUExlZz09>

Passcode: 606991

Or iPhone one-tap :

US: +16465588656,,94433403886#,,,,,0#,,606991# or
+13017158592,,94433403886#,,,,,0#,,606991#

Or Telephone:

Dial(for higher quality, dial a number based on your current location):

US: +1 646 558 8656 or +1 301 715 8592 or +1 312 626 6799 or +1 669 900 9128 or +1 253 215
8782 or +1 346 248 7799

Webinar ID: 944 3340 3886

Passcode: 606991

Instructions on how to join a Zoom meeting: <https://support.zoom.us/hc/en-us/articles/201362193-Joining-a-Meeting>

Public Comments, during the meeting, (3 minutes per speaker):

Click on "Raise Hand" button to speak. At the appropriate time, a member of the public can indicate that he/she would like to offer a public comment by (1) Pressing the "Raise Hand" button in Zoom; or (2) dialing *9 if calling in on a telephone line.

Technical Issues: If staff or board members experience technical issues the meeting will be temporarily halted until the issues are resolved; if the issue cannot be resolved, the meeting will be adjourned.

A. Call to Order:

David A Justice	Chairman
Chris Campbell	Vice Chairman
Safvat Kalaghchy	Member
Jeffrey Schulte	Member
Sam Martorella	Member
Stephen Baughn	1 st Alternate
Michael Hill	2 nd Alternate

B. Approval of Prior Meeting Minutes:

Minutes – August 12, 2020

C. Variance Requests:

1. Site Address: 141 Sixth Avenue

Applicant: Rebecca Craigie (Tenant)

Zoning: R-P Residential Professional

- a. Code Section 17-106.4 Signs Authorized in the Various Zoning Districts (5) (b): A variance to the requirement that signs be attached to the building structure, allowing one 12 sq. ft. detached sign.

2. Site Address: 337 Second Avenue

Applicant: James Palmer-Smith (Owner)

Zoning: R-1-B Single Family Residential

- a. Code Section 17-122 (7) (b): A variance of 3' to the required 10' side setback
- b. Code Section 17-122 (8): A variance of 1' to the required 20' rear setback

D. Adjournment:

Notice: Pursuant to section 286.0105, Florida Statutes, the town hereby advises the public that if a person decides to appeal any decision made by this board with respect to any matter considered at its meeting or hearing, he will need a record of the proceedings, and may need to ensure that a verbatim record of the proceedings is made which includes the testimony and evidence upon which the appeal is to be based. This notice does not constitute consent by the town for the introduction or admission into evidence of otherwise inadmissible or irrelevant evidence, nor does it authorize challenges or appeals not otherwise allowed by law.

Americans with Disabilities Act: Persons planning to attend the meeting who need special assistance must notify the office of the town clerk at 321-723-2242 no later than 48 hours prior to the meeting.

MINUTES
TOWN OF INDIALANTIC BOARD OF ADJUSTMENT
AUGUST 12, 2020 AT 4:30 P.M.

This meeting was held utilizing Communications Media Technology in accordance with Governor DeSantis' Executive Order No. 20-69 and Town Emergency Order #2020-09.

A. Call to Order:

A regular meeting of the Board of Adjustment was called to order Via Zoom Webinar by Vice Chairman Justice on August 12, 2020 at 4:36 p.m. with the following members participating:

David A Justice	Vice Chairman
Chris Campbell	Member
Safvat Kalaghchy	Member
Jeffrey Schulte	Member
Sam Martorella	Member
Stephen Baughn	1 st Alternate
Michael Hill	2 nd Alternate

Also participating:

Michael Casey, Town Manager
Paul Gougelman, Town Attorney
Rebekah Raddon, Town Clerk
Cliff Stokes, Building Official

B. Appointing a Chair and Vice Chair:

Mr. Gougelman explained that nominations require a motion but do not need to be seconded.

MOTION by Member Kalaghchy nominating Vice Chairman Justice as Chairman; followed by a MOTION by Member Kalaghchy to close nominations. Vote unanimous to appoint Justice as Chairman, 5-0.

MOTION by Chairman Justice nominating Member Campbell as Vice Chairman; hearing no other nominations, nominations were closed. Vote unanimous to appoint Campbell as Vice Chairman, 5-0.

C. Approval of Prior Meeting Minutes:

Minutes – November 13, 2019

MOTION by Member Kalaghchy, seconded my Member Martorella, and vote unanimous to approve the minutes, 5-0.

D. Variance Request:

Site address: 405 N Miramar Ave
Applicant: Clayton Bennett, PE

- 1) Code Section 6-30(C): a variance of 276.2 ft is requested to construct seaward of the coastal construction control line.; and
- 2) Code Section 17-127(4) (B): a variance of 25 ft to the required 100 ft lot width requirement.

Mr. Gougelman spoke regarding the two variances and explained the standards required for both. A coastal construction control line variance requires that the applicant prove that the development will not jeopardize the stability of the beach dune system, will not accelerate erosion, and will not endanger adjacent or landward properties or the property itself. A traditional variance, i.e. the lot width variance, requires that the applicant prove an unnecessary hardship or a practical difficulty which is caused by the literal application and enforcement of the zoning code provision from which the variance is sought.

Clayton Bennett, PE, Bennett Engineering & Consulting, 4940 Ranchland Road, Melbourne, spoke regarding the proposed variances. He explained the lot was previously developed as a motel site, and the existing seawall will remain in place and all improvements would be landward of the seawall, and will comply with FDEP regulations and the Florida Building Code. He added that the site is a 75-foot wide platted lot of record as shown on the original plat, and the Town requires lots have a minimum width of 100 feet.

Mr. Gougelman received confirmation from Mr. Bennett that his client does not own any adjacent parcels and this is a single patted lot. It was noted the lot is zoned T (Tourist). Mr. Gougelman explained that most of the Town was subdivided in the early 1900's, before there were zoning or lot size requirements. He explained that the Town's lot width requirement, which became code in 1962, renders the parcel undevelopable, and is prima facie evidence for an unnecessary hardship.

Mr. Gougelman indicated the board could make a motion to approve a variance of 276.2 ft to allow construction seaward of the coastal construction control line (CCCL), acknowledging that the findings of the engineer satisfy the CCCL standards. The variance will be tied to the site plan, which, if abandoned, would require a new application and hearing for a CCCL variance.

There were no public comments.

MOTION by Vice Chairman Campbell, seconded by Member Martorella, and vote unanimous to approve the variance of 276.2 ft. to the CCCL, acknowledging the findings of the engineer which satisfy the required standards and with the condition that the CCCL variance is tied to the submitted site plan. Motion carried unanimously, 5-0.

Mr. Stokes answered questions regarding breezeway requirements; Mr. Gougelman noted that if the applicant doesn't meet the breezeway requirements they would have to apply for another variance. It was noted that Zoning and Planning Board would review landscaping in the site plan.

MOTION by Member Kalaghchy, seconded by Chairman Justice, and vote unanimous to approve a variance of 25' to the required 100' lot width requirement, based on the finding that an unnecessary hardship exists due to the parcel being platted prior to the adoption of the Town's 100' lot width requirement. Motion carried unanimously, 5-0.

E. Adjournment:

There being no further discussion, the meeting was adjourned by Chairman Justice at 5:15 p.m.

David Justice, Chairman

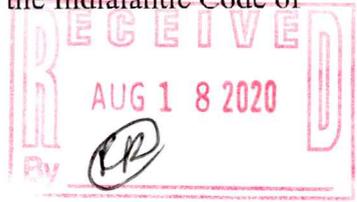
Attested by:

Rebekah Raddon, CMC, Town Clerk

DRAFT

TOWN OF INDIALANTIC
Brevard County, Florida 32903
APPLICATION FOR ZONING VARIANCE

Application is hereby made for a variance in accordance with Section 17-142 of the Indialantic Code of Ordinances.



PLEASE PRINT OR TYPE

1. Applicant states that the property is located at:

Lot(s) 3.4 Block 28

Street Address 141 6th ave Indialantic FL 32903

2. Applicant's name, address and phone number:

rcv+h5@yahoo.com

Name: Rebecca Craigie Phone: 407-927-7415

Address: 2240 Sea Horse Dr. mel Beach FL 32951

3. Property is owned by: Rose Marie Sauer - Carr Raymond Carr

who resides at: 50 eleventh ave unit 303 Indialantic FL 32903

4. The relationship of the applicant to the property is:

OWNER: Tenant ATTORNEY: _____ AGENT: _____

5. The property is zoned as: 1700 - Office Building

6. The requested variance(s) is for the following non-conformities of the Indialantic Code:

<u>Code Section</u>	<u>Explain Non-conformity</u>
a. <u>17-106</u>	<u>sign is attached to building doing damage and not safe for customers coming and going.</u>
b. _____	<u>Requesting to go back to detached sign in the front yard.</u>

7. Site plans are the same as submitted to the Zoning Board?

YES NO _____ Date: _____

8. Should this variance not be granted, a hardship will be imposed and/or the applicant will be injured in the following respects:

IF the sign continues to damage building it could come down on a customer. The building is from the 50' with no good spot to hang sign safely. would be safer and look better on the ground in the yard where it was located for 14 years +.

Any person desiring a variance shall file a written application with the Town Clerk who shall provide a true copy of the published legal notice concerning said application to interested parties pursuant to section 17-143. Each application for variance shall specify the section and subsection of the chapter of the Indialantic Code of Ordinances involved, shall set forth the exact variance desired with respect thereto, shall furnish a site plan (12 copies) on which the variance is to occur, shall explicitly define the details of the variance involved, and shall state the basis on which the variance is requested.

SECTION 17-143. NOTICE OF HEARING

(1) Upon receipt of the application for a variance, the Town Clerk shall cause a notice of the application and the time and place of the hearing thereon to be published, at least fifteen (15) days and not more than thirty (30) days prior to such hearing, in a newspaper of general circulation in the town, and shall post a copy in the Town Hall. The Town Clerk shall mail a copy of such notice to those persons owning property within the radius of two hundred (200) feet of the property affected by the application.

(2) The notice shall state that protests may be filed with the Town Clerk within a specified time, and shall state that any person owning or residing upon or occupying property within the radius of two hundred (200) feet of the property affected by the application shall have the right to protest the variance requested.

A fee of \$400.00 is required at the time the application is filed.

I hereby agree to the payment of the fee as prescribed by the Indialantic Code of Ordinances. I hereby depose and say that all the above statements are true and correct to the best of my knowledge.

Signature of applicant *[Signature]* Date Aug 18, 2020

Sworn to before me this 18 day of August, 20 20

NOTARY *[Signature]* Commission expires July 11, 2024



FOR OFFICE USE ONLY

Application checked and accepted by: _____ Date _____

ACTION BY BOARD OF ADJUSTMENT:

Approved _____ Disapproved _____ Date _____

Board of Adjustment Chairman

Board of Adjustment Secretary

OWNER AUTHORIZATION

Date: July 20, 2020

I, ROSE MARIE SAUER-CARR
RAYMOND CARR, owner of the following property:
Lot(s) 3 Block 28, Indialantic by the Sea
141 Sixth Avenue, Indialantic, Florida, 32903

do hereby authorize Rebecca Craigie to apply for a variance to Indialantic
Code Section 17-104 as my:

Agent _____ Attorney _____ Tenant

Rose Marie Sauer-Carr
Raymond Carr
Signature

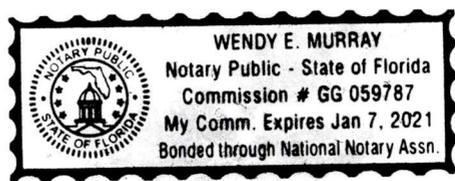
ROSE MARIE SAUER-CARR
RAYMOND CARR
Printed Name

State of Florida
Brevard County

The foregoing HOLD HARMLESS AND INDEMNIFICATION AGREEMENT was
acknowledged before me this July 20, 2020, by
Rose Marie Sauer-Carr, who is personally known to me and/or
who has produced Drivers License and KNOWN, as identification.

Notary Public: Wendy E Murray

Notary Stamp:



July 20, 2020

141 Sixth Avenue

Indialantic, Florida 32903

To Whom it May Concern:

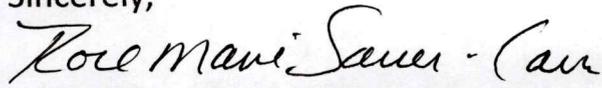
My family has owned this property since 1971 and signage was grandfathered in.

There are no residential homes on the one hundred block which the property is located and is zoned "Professional".

We are requesting assistance to get this variance for our tenants. There has been a sign in the front yard since 1971 and we have the actual sign that was in the yard for fourteen years to show board if need be from the tenant prior to current tenants.

Attached is a copy!

Sincerely,



Rose Marie Sauer-Carr

Raymond Carr



48"

36"

coconuts

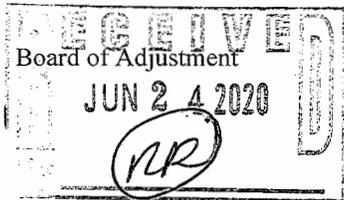
HAIR SHACK



bella
pelle

SKINCARE SPA

12"



TOWN OF INDIALANTIC
Brevard County, Florida 32903
APPLICATION FOR ZONING VARIANCE

Application is hereby made for a variance in accordance with Section 17-142 of the Indialantic Code of Ordinances.

PLEASE PRINT OR TYPE

1. Applicant states that the property is located at:

Lot(s) 1 and 2 _____ Block 12 _____

Street Address 337 2nd Ave _____

2. Applicant's name, address and phone number:

Name: James Palmer-Smith _____ Phone: 321.446.2003 _____

Address: 337 2nd Ave Indialantic _____

3. Property is owned by: James Palmer-Smith _____

who resides at: 337 2nd Ave Indialantic _____

4. The relationship of the applicant to the property is:

OWNER: ATTORNEY: _____ AGENT: _____

5. The property is zoned as: Residential R-1-B

6. The requested variance(s) is for the following non-conformities of the Indialantic Code:

Code Section
a. Section ~~17-142~~ 17-122 (7)(b)

Explain Non-conformity
Practical Difficulty: Adding a large addition including a two-car garage, living room, game room downstairs. Upstairs master bedroom and bath and an exercise/music room. Please see attached floor plan for detail.

b. _____

7. Site plans are the same as submitted to the Zoning Board?

YES NO _____ Date: _____

8. Should this variance not be granted, a hardship will be imposed and/or the applicant will be injured in the following respects:

The current code requires a two-car garage for new houses. If the variance is not granted the addition will not be possible as an oversized one car garage will have no practical or resale value. The estimate for construction of the addition is in excess of \$350,000 and the appraised value of the existing home is \$320,000. The completed home will appraise well above \$650,000 which will increase the resale value of all surrounding homes in the neighborhood.

SECTION 17-142. APPLICATION

Any person desiring a variance shall file a written application with the Town Clerk who shall provide a true copy of the published legal notice concerning said application to interested parties pursuant to section 17-143. Each application for variance shall specify the section and subsection of the chapter of the Indialantic Code of Ordinances involved, shall set forth the exact variance desired with respect thereto, shall furnish a site plan (12 copies) on which the variance is to occur, shall explicitly define the details of the variance involved, and shall state the basis on which the variance is requested.

SECTION 17-143. NOTICE OF HEARING

(1) Upon receipt of the application for a variance, the Town Clerk shall cause a notice of the application and the time and place of the hearing thereon to be published, at least fifteen (15) days and not more than thirty (30) days prior to such hearing, in a newspaper of general circulation in the town, and shall post a copy in the Town Hall. The Town Clerk shall mail a copy of such notice to those persons owning property within the radius of two hundred (200) feet of the property affected by the application.

(2) The notice shall state that protests may be filed with the Town Clerk within a specified time, and shall state that any person owning or residing upon or occupying property within the radius of two hundred (200) feet of the property affected by the application shall have the right to protest the variance requested.

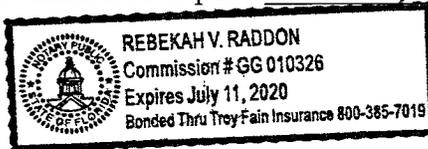
A fee of \$500.00 is required at the time the application is filed.

I hereby agree to the payment of the fee as prescribed by the Indialantic Code of Ordinances. I hereby depose and say that all the above statements are true and correct to the best of my knowledge.

Signature of applicant James Smith Date 6/24/2020

The foregoing instrument was sworn to (or affirmed), subscribed, and acknowledged before me by means of physical presence or online notarization, this 24 day of June, 2020, by James Palmer-Smith who is personally known to me or has produced FL Driver's License as identification.

NOTARY Rebekah R Commission expires July 11, 2020



FOR OFFICE USE ONLY

Application checked and accepted by: _____ Date _____

ACTION BY BOARD OF ADJUSTMENT:

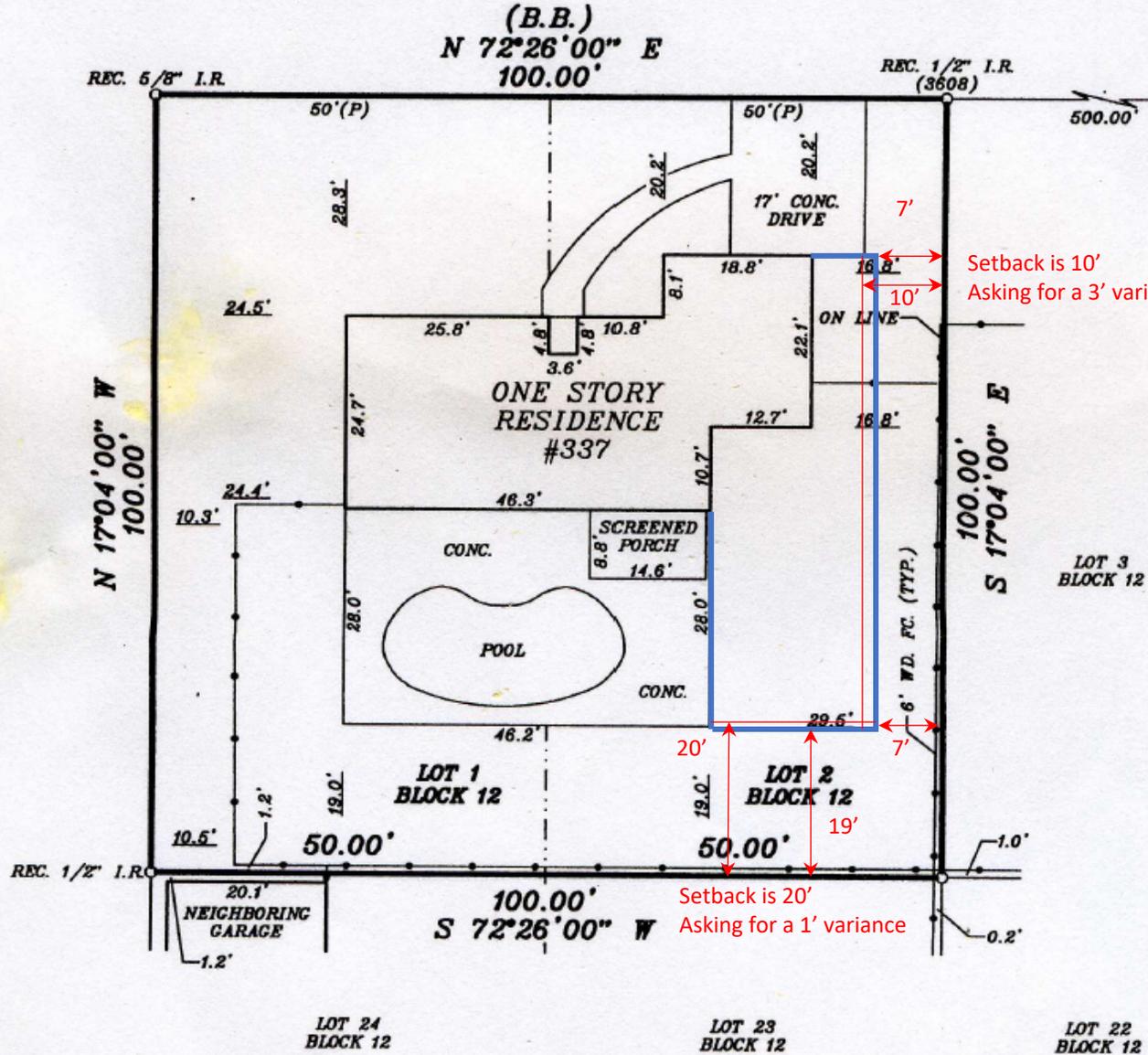
Approved _____ Disapproved _____ Date _____

Board of Adjustment Chairman

Board of Adjustment Secretary

RAMONA AVENUE
60' R/W

WEST R/W OF PALM AVENUE
P.I.



Setback is 10'
Asking for a 3' variance

Setback is 20'
Asking for a 1' variance

(B.B.)
N 72°26'00" E
100.00'

N 17°04'00" W
100.00'

REC. 1/2" I.R.
(3608)

REC. 5/8" I.R.

REC. 1/2" I.R.

100.00'
S 72°26'00" W

100.00'
S 17°04'00" E

LOT 3
BLOCK 12

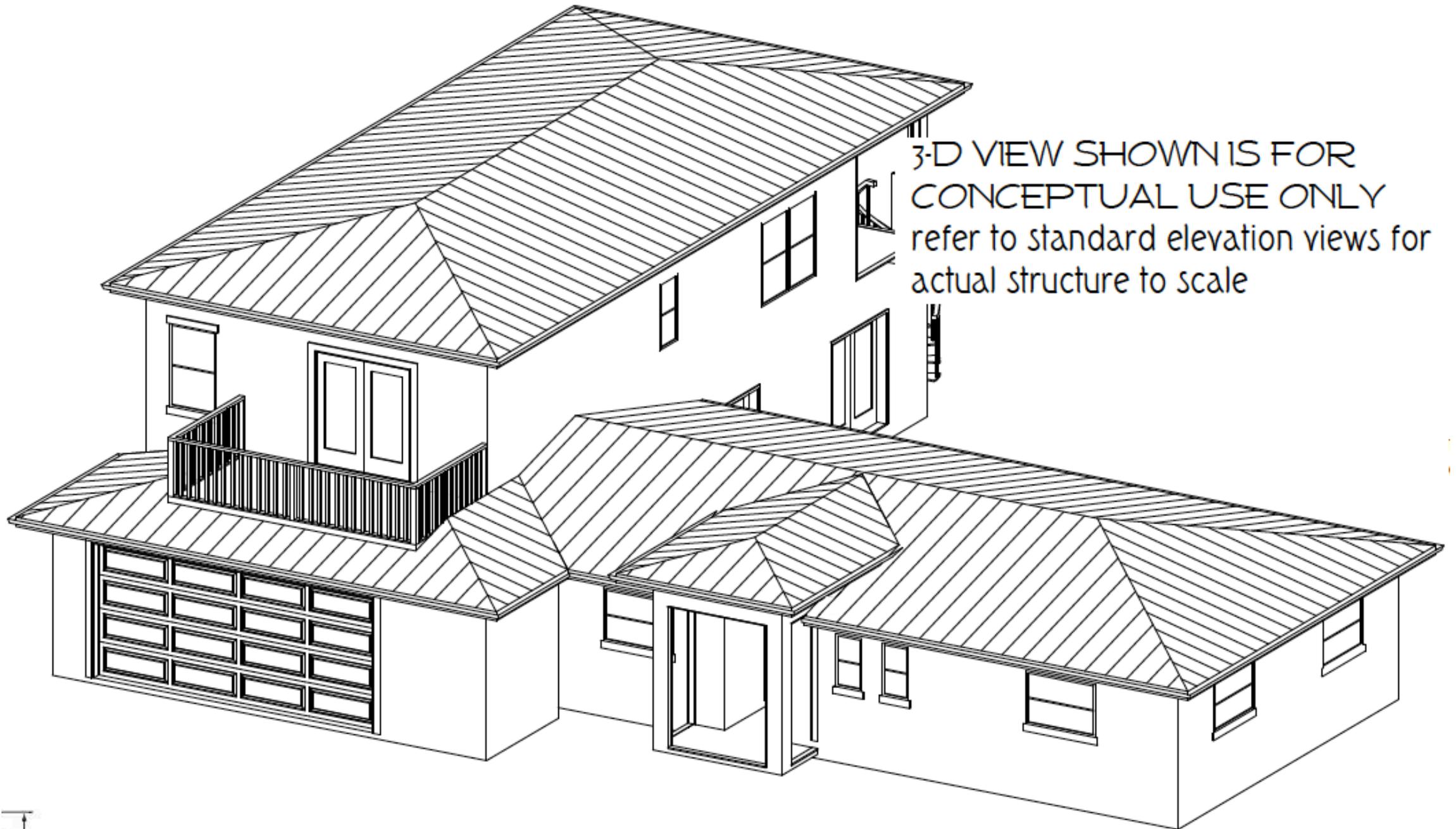
LOT 1
BLOCK 12

LOT 2
BLOCK 12

LOT 24
BLOCK 12

LOT 23
BLOCK 12

LOT 22
BLOCK 12



3-D VIEW SHOWN IS FOR
CONCEPTUAL USE ONLY
refer to standard elevation views for
actual structure to scale



IMPACT GLASS, panels or shutters are required on all new windows and doors with glazed openings.

REFER TO INSTALLATION DETAILS FROM MANUFACTURER OF WINDOWS AND EXTERIOR DOOR(S). THESE DETAILS ARE TO BE ATTACHED TO BUILDING PLAN.

ALL NEW WINDOWS AND DOORS TO COMPLY WITH WINDLOADING REQUIREMENTS AS STATED IN FBC. REFER TO WINDLOADING CALCULATIONS FOR THIS BUILDING.

USE MANUFACTURER WINDOW AND DOOR SIZE CHART TO OBTAIN RUF OPENINGS. PLAN DIMENSIONS ARE FOR LOCATION ONLY.

VERIFICATION REQUIRED
this note applies to builder, owner and all subcontractors

ALL DIMENSIONS SHOWN ARE APPROXIMATE AND MUST BE FIELD VERIFIED. VERIFY THAT SLAB HEIGHTS COMPLY WITH LOCAL CODE REQUIREMENTS. (FOR ABOVE ROAD HEIGHTS, DRAINAGE AND SEWER CONNECTIONS). VERIFY SETBACK COMPLIANCE BEFORE PLACING CONCRETE. VERIFY FLOORPLAN DIMENSIONS BEFORE BUILDING TRUSSES. VERIFY WALL HEIGHTS BEFORE BUILDING WALLS. ANY CONDITIONS THAT ARE DIFFERENT THAN THOSE DEPICTED IN THESE DRAWINGS MUST BE REMEDIATED BEFORE PROCEEDING WITH CONSTRUCTION. NOTIFY BUILDER, OWNER, AND ENGINEER OF ANY PLAN OR DESIGN DISCREPANCIES BEFORE PROCEEDING.

FLOORPLAN SYMBOL KEY

ELECTRICAL SYMBOLS

- WALL MOUNT duplex RECEPT 125V
- WEATHERPROOF duplex 125V ON GFCI CIRCUIT
- FLOOR MOUNT duplex 125V RECEPT
- WALL MOUNT duplex GROUND FAULT CIRCUIT INTERRUPTER
- CILING MOUNT duplex 125V RECEPT
- WALL MOUNT 220V
- WALL SWITCH
- HANDLING LT/FUTURE CEILING MOUNT
- LIGHT FIXTURE WALL OR CEILING MOUNT
- RECESSED LIGHT
- EXTERIOR FLOOD LIGHT
- FAN LIGHT
- BATH EXHAUST FAN W/ LIGHT
- BATH EXHAUST FAN
- 4FT FLOURESS LIGHT
- TV COAX
- TELEPHONE RECEPT
- SMOKE DETECTOR
- SMOKE & CARBON MONOXIDE DETECTOR COMBO
- DOORBELL PUSHBUTTON
- GARAGE DR. PUSHBUTTON
- CEILING FAN METAL BOX BRACED
- CIRCUIT BREAKER PANEL
- HOSE FAUCET
- REBAR REINF. GROUT CELL IN BLOCK

MISC SYMBOLS

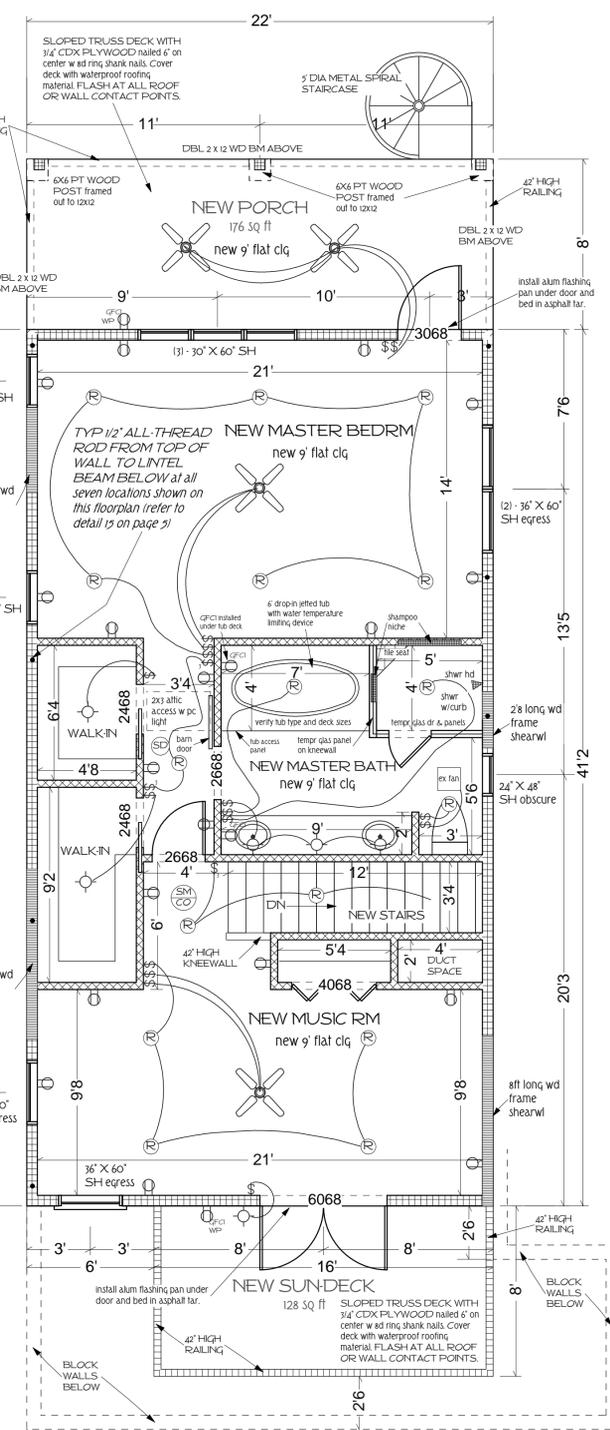
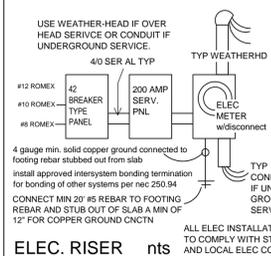
- REBAR REINF. GROUT CELL IN BLOCK

GEN. SERVICE CALCULATIONS

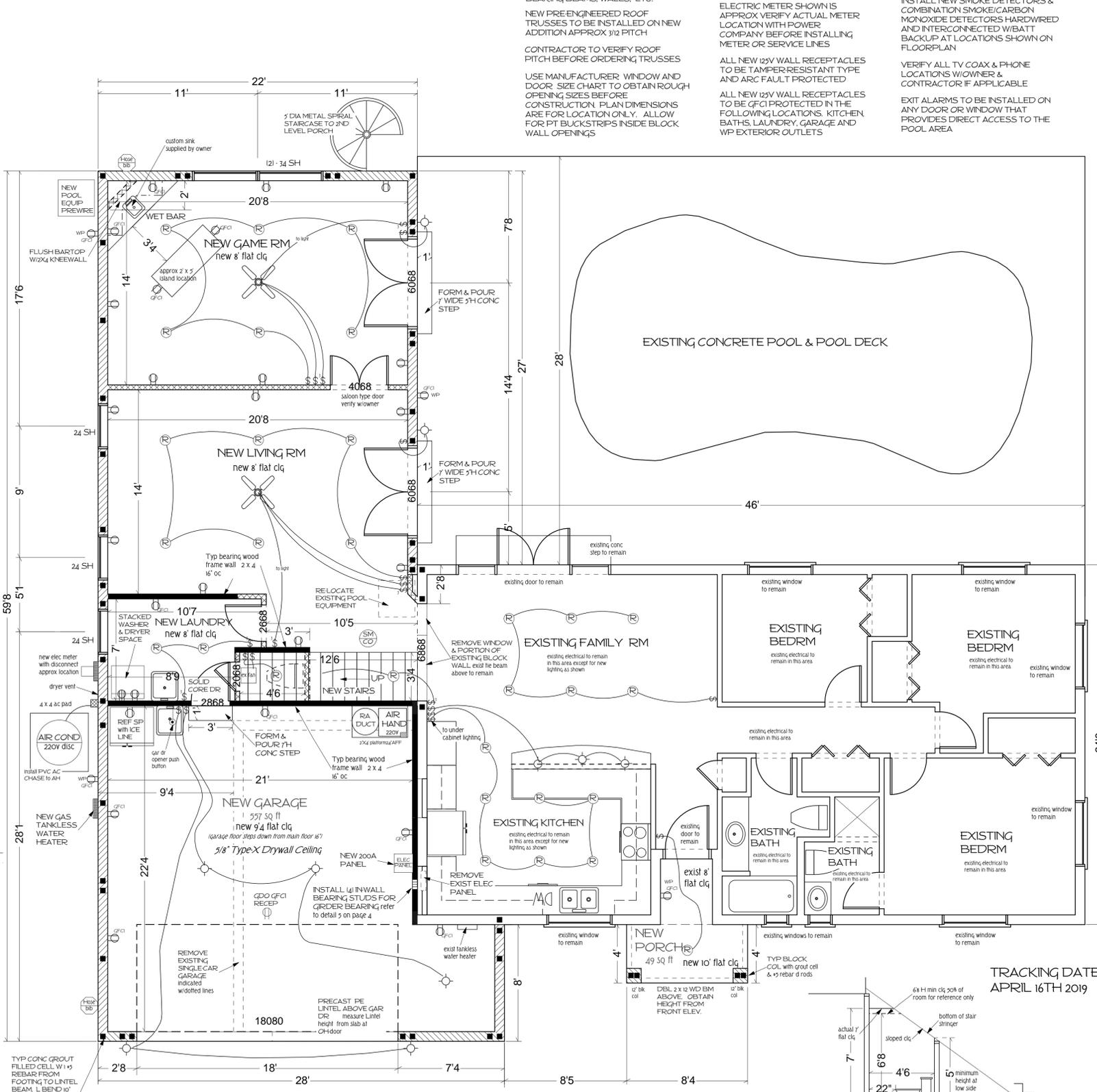
ITEM	AMOUNT	VA	VA
LAUNDRY	2000	1500	VA
KITCHEN SABC'S	1500VA/2	3000	VA
RANGE	8000	8000	VA
DRYER	5000	5000	VA
WATER HEATER	4500	4500	VA
DISHWASHER	1800	1800	VA
MICROWAVE	1500	1500	VA
REFRIG.	1500	1500	VA
POOL PUMP 1 1/2 HP 10A	2400	2400	VA
RRIG PUMP 3/4HP	1650	1650	VA
1ST 10KW AT 100%	38910	38910	VA TOTAL
10000	10000	VA	
PLUS 1ST 10KW	11524	VA	
A EQUALS	38910	VA	
10000	10000	VA	
PLUS 1ST 10KW	11524	VA	
B EQUALS	10000	VA	
19000	19000	VA	
C EQUALS	19000	VA	
61524	61524	VA	

ADD FOR HEAT/AC HEAT PUMP
HEAT AT 10KW
AC @ 40A x 240V

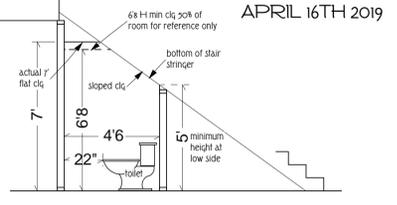
41 124 VA/240V EQUALS
171 AMPS REQUIRED
USE 200 AMP SERVICE



2ND LEVEL FLOORPLAN 1/4" = 1'0"



1ST LEVEL FLOORPLAN 1/4" = 1'0"



LAUNDRY TOILET ROOM SECTION VIEW not to scale

SCOPE OF WORK

REMOVE EXISTING SINGLE CAR GARAGE & ROOF ABOVE TO MAKE WAY FOR NEW 2-STORY ADDITION

CONSTRUCT NEW 2-STORY ADDITION AS SHOWN ON FLOORPLAN AND ELEVATION VIEWS

CONTRACTOR IS RESPONSIBLE FOR ENSURING ADEQUATE SAFETY & TEMPORARY SUPPORT DURING REMOVAL OF ANY BEARING BEAMS, WALLS, ETC.

NEW PREENGINEERED ROOF TRUSSES TO BE INSTALLED ON NEW ADDITION APPROX 1/2 PITCH

CONTRACTOR TO VERIFY ROOF PITCH BEFORE ORDERING TRUSSES

USE MANUFACTURER WINDOW AND DOOR SIZE CHART TO OBTAIN ROUGH OPENING SIZES BEFORE CONSTRUCTION. PLAN DIMENSIONS ARE FOR LOCATION ONLY. ALLOW FOR PT BLOCK STRIPS INSIDE BLOCK WALL OPENINGS

ELECTRICAL NOTES

ALL ELECTRICAL INDICATED ON FLOORPLANS IS NEW UNLESS NOTED OTHERWISE AND SHOULD BE INSTALLED AS SHOWN

NEW ELECTRIC TO BE FED FROM NEW 200A ELEC PANEL

ELECTRIC METER SHOWN IS APPROX VERIFY ACTUAL METER LOCATION WITH POWER COMPANY BEFORE INSTALLING METER OR SERVICE LINES

ALL NEW 125V WALL RECEPTACLES TO BE TAMPER-RESISTANT TYPE AND ARC FAULT PROTECTED

ALL NEW 125V WALL RECEPTACLES TO BE GFCI PROTECTED IN THE FOLLOWING LOCATIONS: KITCHEN, BATHS, LAUNDRY, GARAGE AND WP EXTERIOR OUTLETS

ELECTRICAL NOTES cont'd

INSTALL NEW SMOKE DETECTORS & COMBINATION SMOKE/CARBON MONOXIDE DETECTORS HARDWIRED AND INTERCONNECTED W/BAT BACKUP AT LOCATIONS SHOWN ON FLOORPLAN

VERIFY ALL TV COAX & PHONE LOCATIONS W/OWNER & CONTRACTOR IF APPLICABLE

EXIT ALARMS TO BE INSTALLED ON ANY DOOR OR WINDOW THAT PROVIDES DIRECT ACCESS TO THE POOL AREA

ENGINEERING NOTE

THIS PLAN HAS BEEN DESIGNED TO MEET OR EXCEED THE REQUIREMENTS OF THE 6TH EDITION (2017) FLORIDA BUILDING CODE, RESIDENTIAL. THE ENGINEERING ON THIS PLAN DOES NOT COVER ELECTRICAL, HAVRY, OR PLUMBING.

SEAL

CONSULTING ENGINEER: **JOE EDWARD DEEN, JR. P.E.**
FL. P. E. # **36070**
PH: **321-480-1500**
ADDRESS: **PO BOX 188 SHARPESS, FL 32959**

BLOCK SHEARWALL NOTE: EACH BLOCK WALL SEGMENT FROM GROUT FILLER CELL TO CELL CONSTITUTES A STRUCTURAL SHEARWALL.

WINDOW & DR COMPLIANCE

ALL NEW WINDOWS AND EXTERIOR DOORS TO COMPLY WITH FBC WIND LOAD AND LABELING REQUIREMENTS

BLOCK WALL NOTES

8" x 8" x 16" CMU 2 CELL HOLLOW CONCRETE BLOCK SHALL BE LAP BONDED WITH HIGH STRENGTH MORTAR. ONE #5 REBAR DOWNWARD W/ TOP BEND SHALL BE PLACED IN EACH GROUDED CELL INDICATED ON FLOORPLAN. TOP COURSE OF BLOCK WALL SHALL BE INTEL. U-BLOCK AND SHALL HAVE ONE #5 REBAR PLACED HORIZ WITH 25' LAPS IN GROUDED TROUGH ALONG ENTIRE BLOCK WALL PERIMETER.

PRE CAST LINTEL HEIGHTS

LINTEL BOTTOMS SHALL BE PLACED 16" LOWER THAN WALL HEIGHT, UNLESS NOTED OTHERWISE ON DRAWING. PRECAST DOOR LINTEL BOTTOMS SHALL BE RECESSED UPWARD 2". GARAGE DOOR LINTEL BOTTOM SHALL BE MEASURED FROM SLAB AT OVERHEAD DOOR. USE DR HIT ON FLOORPLAN. VERIFY ALL LINTEL HEIGHTS WITH BUILDER BEFORE INSTALLING.

NON-BEARING WALL NOTES

UNLESS OTHERWISE NOTED ON FLOORPLAN ALL INTERIOR WALLS ARE NON-BEARING 2 X 4 WOOD FRAME 2 FT. OC. OR 16" OC IF BUILDER PREFERENCES. ADD BLOCKING IN WALL CAB AREAS AND AT ALL VERT JOINTS. FIREBLOCKS AS NEEDED TO SEPARATE CEILINGS AND WALL SP.

DRYWALL FURRING NOTE

ALL PT FURRING IS SECURELY NAILLED TO BLOCK WALLS BY CUT NAILS OR T-NAILS IN INTERIOR AC SP ONLY. USE 1 X 2 PT ON WALLS AND BAND TOP AND BOTTOM. No air gaps in top band. VERT STRIPS ARE 2" OC OR IF BUILDER PREFERENCES 16" OC USE 1 X 8 PT AS WALL NAILERS ONLY. USE 1 X 4 PT AROUND WINDOWS AND DS.

WALL HEIGHT NOTES

ALL WALL HEIGHTS ARE MEASURED FROM MAIN SLAB. AFF MEANS ABOVE FINISHED FLOOR. FINISHED FLOOR MEANS MAIN SLAB OR MAIN FLOOR LEVEL OF STRUCTURE.

THIS PLAN WAS DESIGNED TO MEET OR EXCEED THE FOLLOWING CODES, AS APPLICABLE, UNDER THE UMBRELLA OF THE 2017 FLORIDA BUILDING CODE

- IF DETACHED SINGLE FAMILY DWELLINGS OR TOWNHOUSES THEN FBC RESIDENTIAL
- IF EXISTING BUILDING UNDERGOING REPAIR THEN FBC BUILDING CHAPT 34
- IF REPAIR OR INSTALLATION OF ELEC SYSTEMS THEN FBC BUILDING CHAPT 27 OR FBC RESIDENTIAL CHAPT 34-33
- IF INSTALLATION OR REPAIR OF GAS PIPING THEN FBC FUEL GAS
- IF INSTALLATION OR REPAIR OF PLUMBING THEN FBC PLUMBING
- FOR FIRE PREVENTION MEASURES THE FLORIDA FIRE CODE, current edition.
- IF INSTALLATION OR REPAIR OF HAVRY SYSTEMS THEN FBC MECHANICAL
- FOR ENERGY EFFICIENCY THEN FBC ENERGY CONSERVATION
- IF ACCESSIBILITY PROVISIONS THEN FBC ACCESSIBILITY

ACTUAL DESIGN AND SIZING OF HAVRY SYSTEM, GAS PIPING, ENERGY CALCULATIONS, PLUMBING LIFT STATIONS OR PRESSURE LINES AND ANY OTHER INFORMATION USUALLY FURNISHED BY LICENSED SUB-CONTRACTORS AND SUPPLIERS ARE NOT INCLUDED IN THIS PLAN DESIGN.

802	New AC sp 1st level
1119	Exist AC sp 1st level
905	New AC sp 2nd level
2826	TOTAL sf AC SP
557	New Garage
176	New 2nd level porch
128	New SunDeck
49	New F porch
3608	TOTAL SF under roof

PROJECT: **337 SECOND AVE**
ADDRESS: **INDIALANTIC, FL 32903**

SUBOV: **INDIALANTIC BY THE SEA**

BUILDER: **L.H. TANNER CONSTRUCTION**
PH: **321-259-8099**

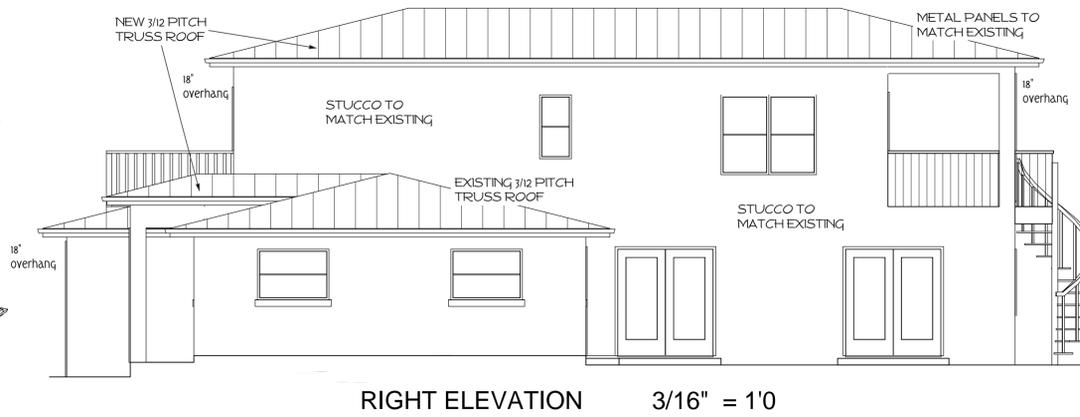
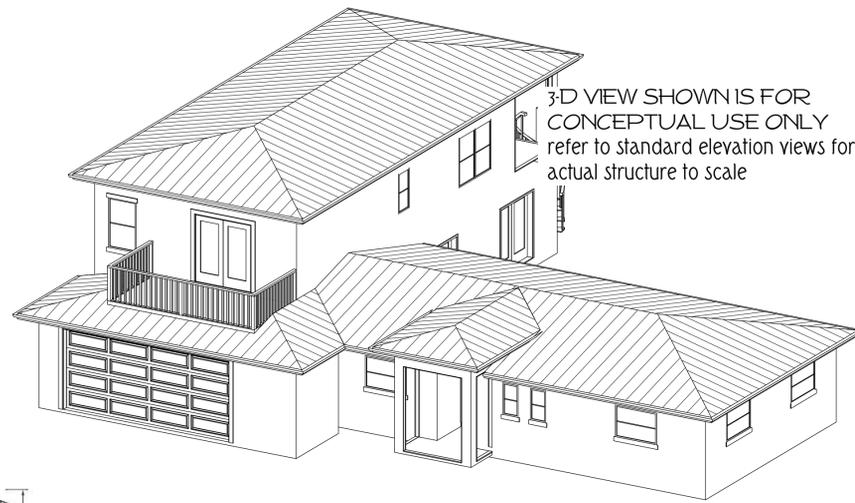
DATE DRAWN: **APRIL 12TH 2019**

REVISION DATES: **4-16-19**

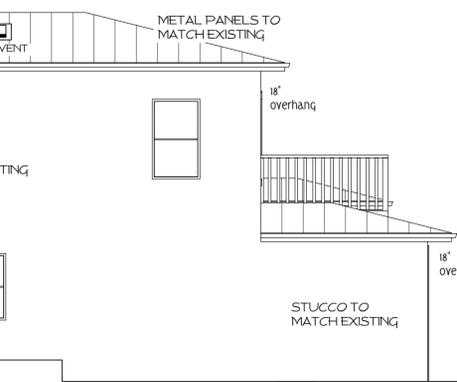
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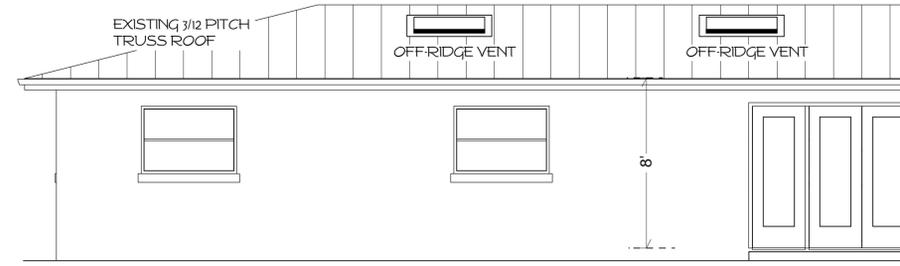
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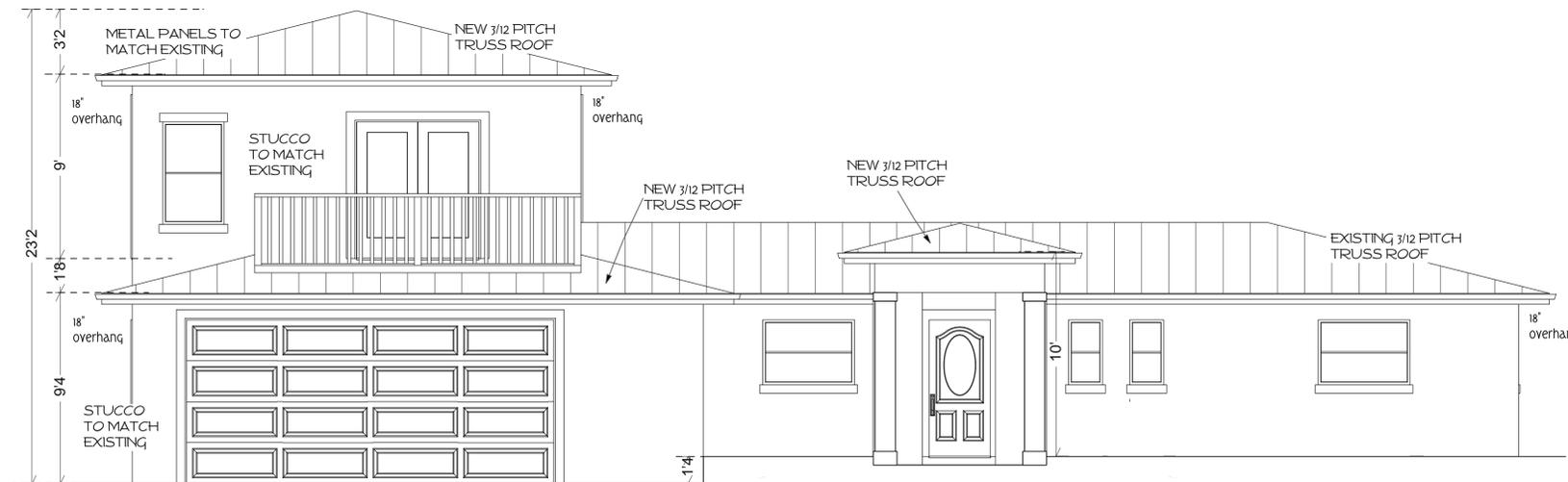
RIGHT ELEVATION 3/16" = 1'



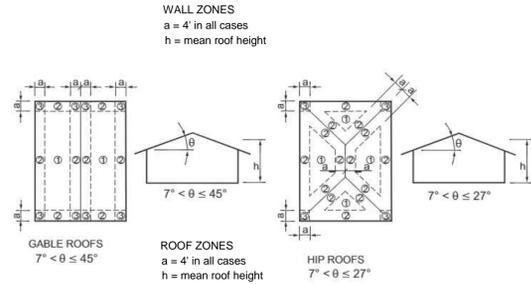
LEFT ELEVATION 3/16" = 1'



REAR ELEVATION 1/4" = 1'



FRONT ELEVATION 1/4" = 1'



PROJECT DATA SUMMARY

RESIDENTIAL - DESIGN FOR PROTECTED OPENINGS, 160 MPH
Hurricane Resistant Construction for Wind-Borne Debris Region.

APPLICABLE CODES:
Residential Code: Florida Building Code, Residential 2017
Includes Mechanical, Plumbing, Accessibility, and Energy
Electrical Code: National Electrical Code, current edition
Fire Code: Florida Fire Prevention Code, current edition

STRUCTURAL FORCES
SOIL DESIGN 2000 PSF ASSUMED
FLOOR DESIGN LIVE LOAD 40 PSF OR AS PER TRUSS DESIGN BY OTHERS
DEAD LOAD 30 PSF OR AS PER TRUSS DESIGN BY OTHERS
BALCONY DESIGN LIVE LOAD 100 PSF OR AS PER TRUSS DESIGN BY OTHERS
DEAD LOAD 30 PSF OR AS PER TRUSS DESIGN BY OTHERS
ROOF DESIGN LIVE LOAD 16 PSF OR AS PER TRUSS DESIGN BY OTHERS
DEAD LOAD 25 PSF OR AS PER TRUSS DESIGN BY OTHERS

WIND DESIGN
ULTIMATE WIND SPEED 160 MPH, NOMINAL 124 MPH
WIND EXPOSURE B
INTERNAL PRESSURE COEFFICIENT +/- .18 (ENCLOSED) shutters or impact glass reqd.
BUILDING RISK CATEGORY II

ALLOWABLE STRESS DESIGN LOADS all loads in PSF

ZONE 1	11.20	-27.00	THIS STRUCTURE IS DESIGNED AS ENCLOSED shutters or impact glass reqd.
ZONE 2	11.20	-46.00	
ZONE 3	11.20	-69.00	
ZONE 4	27.70	-30.00	
ZONE 5	27.70	-37.00	

COMPONENTS AND CLADDING DESIGN PRESSURES

		WIND PRESSURES PSF	
MIN REQD. FOR OH DOORS		24.10	-29.95
MIN REQD. FOR SLIDING DOORS		25.27	-32.30
MIN REQD. FOR ALL OTHER DOORS		27.20	-36.17
MIN REQD. FOR WINDOWS		27.90	-37.63
MIN REQD. FOR SOFFIT		22.20	-24.60

IF METAL PANEL ROOF USE MANUFACTURER REQUIREMENTS FOR FASTENERS.
USE APPROVED PANEL SYSTEM TO MEET WINDLOAD REQUIREMENTS

ROOF DECK NAILING INSTRUCTIONS ARE PROVIDED IN ATTACHED ROOF DIAPHRAGM DETAIL.
WINDOW AND DOOR ANCHORING AS PER MANUFACTURER REQUIREMENTS.

TRUSS OR RAFTER CONNECTION SCHEDULE for direct truss (or rafter) to building connections only
USE REQD UPLIFT TO MATCH PROPER CONNECTOR TO ROOF MEMBERS
Doubling of connectors doubles the hold-down capacity, provided nailing does not split the wood & cnctrs do not overlap

manufacturer	qty	type	attach with	connected items	uplift max	wall type
USP	1	ta 20	8	10d x 1-1/2" truss or rafter to lintel or bond beam	1055	block
USP	2	ta 20	16	10d x 1-1/2" dbl 2x12 wd beam to lintel or bond beam	2110	block
USP	2	ta 20	16	10d x 1-1/2" girder truss to lintel or bond beam	2110	block
USP	2	HTA 20	24	10d x 1-1/2" girder truss to lintel or bond beam	2630	block
USP	1	mtw16	14	10d com ea truss or rafter to top plate	935	frame
USP	1	mtw16	14	10d com ea truss or rafter to wood beam or ledger	935	frame

≤20 is 1" wide - HTA 20 and mtw16 are 1 1/4" wide
Design conditions may require alternate connectors not shown here. SIMPSON OR ALTERNATE CONNECTORS MAY BE USED (SUBJECT TO ENGINEER APPROVAL)
truss to truss connections to be specified by truss co.

MISC CONNECTOR SCHED for bearing components, frame walls and wood beams
USE 2" wsh type USP or equiv WASHERS ON ALL BOLT ASSEMBLIES SPECIFIED j-bolts and wedge anchors

manufacturer	qty	type	attach with	connected items	uplift max	wall type
USP	1	spth4	12	10d x 1 1/2" top plate to studs	1465	frame
USP	1	spth4	12	10d x 1 1/2" bottom plate to studs	1465	frame
USP	1	ab 1210	1/2"x10" j-bolt	bottom plate to foundation	2000	frame
USP			or wedge anchor 24" oc			
USP	1	ab 128	1/2"x8" j-bolt	frame wall to block wall vertical	na	frame
USP			or wedge anchor 24" oc			

Design conditions may require additional or alternate connectors not shown here.

NAILING SCHEDULE for wood framing, roof and wall sheathing, floor decking

category	qty	spacing	fastener	items nailed together	1st item	2nd item
non bearing wall	2	equal	16d com	top plate to studs	2x4	2x4
non bearing wall	2	equal	16d com	bottom plate to studs	2x4	2x4
non bearing wall	2	ea truss	16d com	top plate to truss bottom	2x4	2x4
non bearing wall	4	2per side	8d com	stud to bottom plate toenail	2x4	2x4
bearing wall	2	equal	16d com	top plate to studs	2x4	2x4
bearing wall	2	equal	16d com	bottom plate to studs	2x4	2x4
bearing wall	2	16" oc	16d com	bottom plate to joist face nail	2x4	typ joist
bearing wall	2	24" oc	16d com	double studs face nail	2x4	2x4
bearing wall	2	16" oc	16d com	double top plates face nail	2x4	2x4
bearing wall	2	equal	16d com	top plates laps and intersections	2x4	2x4
bearing wall	1	16" oc	16d com	double header nail along ea edge	2x4	size for span/load
bearing wall	2	16" oc	16d com	built up corner studs	2x4	2x4
bearing wall	1	16" oc	7d cut nails	bottom plate to slab/foundation	2x4	conc
bearing wall	2	32" oc	20d com	3 layers brn stagger nails top & bottom	size for span/load	size for span/load
floor framing	3	equal	16d com	joist to band joist face nail	type of loading	REFER TO MANUFACTURER TABLES AND FASTENER GUIDES FOR MORE ACCURATE INFO.
floor framing	2	equal	8d com	bridging to joist toenail ea end	1x2	typ joist
floor framing	3	equal	8d com	band joist to sill or top plate	size for span/load	size for span/load
ceiling framing	3	equal	16d com	ceiling joists lap over partitions	size for span/load	size for span/load
floor deck	2	equal	8d ringshank 1 1/2" or less subfloor nail to ea joist	size for span/load	size for span/load	size for span/load
floor deck	2	equal	8d ringshank 5/8" nominal wood structural panel	4ft x 8ft	typ joist	typ joist
floor deck	2	equal	8d ringshank 3/4" nominal wood structural panel	4ft x 8ft	typ joist	typ joist
floor deck	2	equal	8d ringshank 1/2" nominal wood structural panel	4ft x 8ft	typ stud	typ stud
floor deck	2	equal	8d ringshank 1/2" nominal wood structural panel	4ft x 8ft	typ joist	typ joist

CONNECTOR NAILING REQUIREMENTS

LOAD VALUES DEPEND ON SIZE AND NUMBER OF NAILS PER CONNECTOR.
A 10D TO 16D NAIL PROVIDES UP TO 116 LBS OF HOLDING STRENGTH. AN 8D NAIL PROVIDES UP TO 45 LBS.
THE NUMBER OF NAILS IN A CONNECTOR TIMES HOLDING STRENGTH PER NAIL DETERMINES APPROX STRENGTH OF CONNECTION. TEN 16D NAILS PROVIDES APPROX 1160 LBS OF STRENGTH. Or ten times 116 LBS per nail = 1160 LBS. Variances occur due to connector design strength and steel thickness, wood type and strength, nailing patterns and type of loading. REFER TO MANUFACTURER TABLES AND FASTENER GUIDES FOR MORE ACCURATE INFO.
DOUBLING OF CONNECTORS GIVES DOUBLE THE STRENGTH, provided the connectors do not overlap and the nailing does not split the wood.

VERIFICATION REQUIRED
this note applies to builder, owner and all subcontractors

ALL DIMENSIONS SHOWN ARE APPROXIMATE AND MUST BE FIELD VERIFIED. VERIFY THAT SLAB HEIGHTS COMPLY WITH LOCAL CODE REQUIREMENTS. FOR ABOVE ROAD HEIGHTS, DRAINAGE AND SEWER CONNECTIONS) VERIFY SETBACK COMPLIANCE BEFORE PLACING CONCRETE. VERIFY FLOOR PLAN DIMENSIONS BEFORE BUILDING TRUSSES. VERIFY WALL HEIGHTS BEFORE BUILDING WALLS. ANY CONDITIONS THAT ARE DIFFERENT THAN THOSE DEPICTED IN THESE DRAWINGS MUST BE REVEALED BEFORE PROCEEDING WITH CONSTRUCTION. NOTIFY BUILDER, OWNER, AND ENGINEER OF ANY PLAN OR DESIGN DISCREPANCIES BEFORE PROCEEDING.

ENGINEERING NOTE
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SEAL
CONSULTING ENGINEER: JOE EDWARD DEEN, JR. P.E.
FL. P. E. # 36070
PH: 321-480-1500
ADDRESS: PO BOX 188 SHARPES, FL 32959

BLOCK SHEARWALL NOTE: EACH BLOCK WALL SEGMENT FROM GROUT FILLED CELL TO CELL CONSTITUTES A STRUCTURAL SHEARWALL.

WINDOW & DR COMPLIANCE
ALL NEW WINDOWS AND EXTERIOR DOORS TO COMPLY WITH FBC WIND LOAD AND LABELING REQUIREMENTS

STUCCO NOTES
ALL EXTERIOR BLOCK WALLS ARE STUCCO COATED TO AVG. 5/8" DEPTH. RECOMMEND HOLDING BOTTOM EDGE 6" ABOVE GRADE. SEE FRONT ELEVATION FOR STUCCO BANDING DETAIL. THE REQUIREMENTS & STANDARDS OF ASTM C 926 SHALL BE IMPLEMENTED.
ALL EXTERIOR WOOD FRAME WALLS REQUIRE 7/8" STUCCO OVER GALV. STL. WIRE LATHE OVER TWO LAYERS VAPOR BARRIER OVER 1/2" NOM CDX PLYWD OR OSB SHEATHING. NAIL WIRE LATHE SECURELY TO WALL WITH GALV ROOFING NAILS. WEEP SCREED TO BE INSTALLED 1" BELOW WALL AND 6" ABOVE GRADE MIN. ALLOW NO STUCCO TO COME IN DIRECT CONTACT WITH WOOD OR SHEATHING. PLASTIC CORNER BEAD PREFERRED. THE REQUIREMENTS AND STANDARDS OF ASTM C 926 & ASTM C 1063 SHALL BE IMPLEMENTED.

DECKING NOTES
ROOF DECKING: SHALL BE 5/8" (NOMINAL) CDX PLYWOOD 4 X 8 SHEETS APART STAGGERED EVERY OTHER ROW (MAX SPAN 24") INSTALL GALV STL PLYCLIP BETWEEN EA TRUSS AT SPAN JOINTS. ANY DECKING STRIPS LESS THAN 24" WIDE SHALL BE SUPPORTED BY 2 X 4 BLOCKING. INSTALL DECKING AT RIGHT ANGLES TO TRUSS SPAN AND STAGGER EVERY OTHER ROW. NAIL DECK WITH 8D RINGSHANK NAILS 6" OC (NO STAPLES) USE 2 X 4 BLOCKING AT HIP AND RIDGE JOINTS.

ROOF TRUSSES
FOR PRE-ENGINEERED TRUSS INFORMATION REFER TO ENGINEERED TRUSS LAYOUT/DRAWINGS SUPPLIED BY TRUSS COMPANY. TRUSS DRAWINGS SHALL BE SUBMITTED TO ENGINEER FOR REVIEW PRIOR TO FABRICATION BY TRUSS CO. APPROVED DRAWING SHALL INCLUDE LAYOUT, DESIGN LOADS, REACTIONS (DL AND LL) AND ALL INFORMATION FOR INSTALLATION. TRUSS DESIGN SHALL INCLUDE UPLIFT CALCUS AND DESIGN LOADS FOR GRAVITY AND UPLIFT. ALL APPROVED DRAWINGS AND CALCUS MUST BE SEALED BY A FL REGISTERED ENGINEER. ALL BRACING CALLED FOR IN TRUSS DESIGN IS TO BE PROPERLY INSTALLED.

TRUSS COMPANY MUST NOTIFY ENGINEER IN WRITING OF ANY PLAN DISCREPANCIES or changes IN BEARING POINTS, ROOF DESIGN OR FOOTING LOCATIONS NOT INDICATED ON THIS ORIGINAL PLAN. THIS PLAN WAS DESIGNED BEFORE AND WITHOUT BENEFIT OF THE TRUSS DESIGN AND ANY MODIFICATION TO MEET TRUSS REQUIREMENTS IS THE RESPONSIBILITY OF THE TRUSS CO AND THE BUILDER.

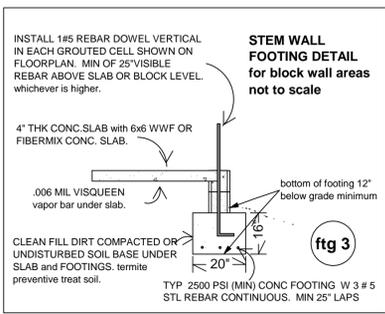
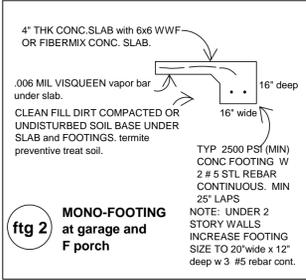
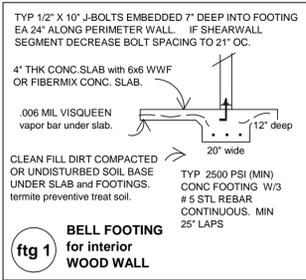
ROOF TRUSSES
UNLESS OTHERWISE INDICATED ON ELEV VIEWS, TYP ROOF COVERING IS METAL PANELS OVER SELF-ADHERING, WATERPROOF, FIBERGLAS REINFORCED, ASPHALT MEMBRANE UNDERLAYMENT (PEEL & STICK). ROOF VENTILATION IS OFF RIDGE VENTS. (RIDGE VENTS & VENTED SOFFIT MAY BE OMITTED IF SPRAY FOAM INSULATION IS USED install per manufacturer specs)

PROJECT: 337 SECOND AVE
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DATE DRAWN: APRIL 12TH 2019
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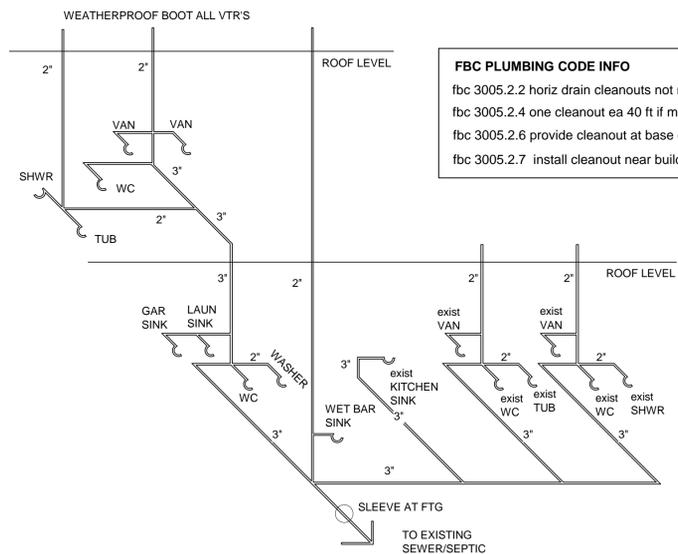
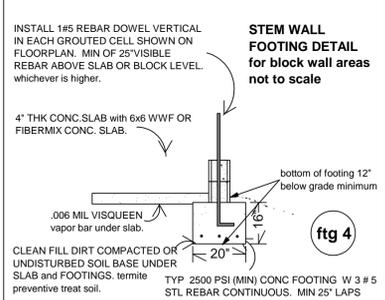
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PG 2 OF 5
ELEVATIONS, CONNECTORS & FASTENERS, ENGINEERING NOTES.



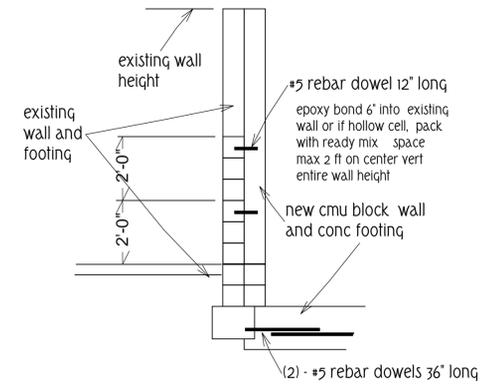
STEM WALL HEIGHT NOTE:
STEM WALL HEIGHTS MAY VARY ACCORDING TO SITE CONDITIONS. OBTAIN REQUIRED SLAB HEIGHT FROM LOCAL AUTHORITIES AND VERIFY WITH BUILDER.



PLUMBING RISER DIAGRAM not to scale
see plumbing note at edge of page.

VERIFICATION REQUIRED
this note applies to builder, owner and all subcontractors

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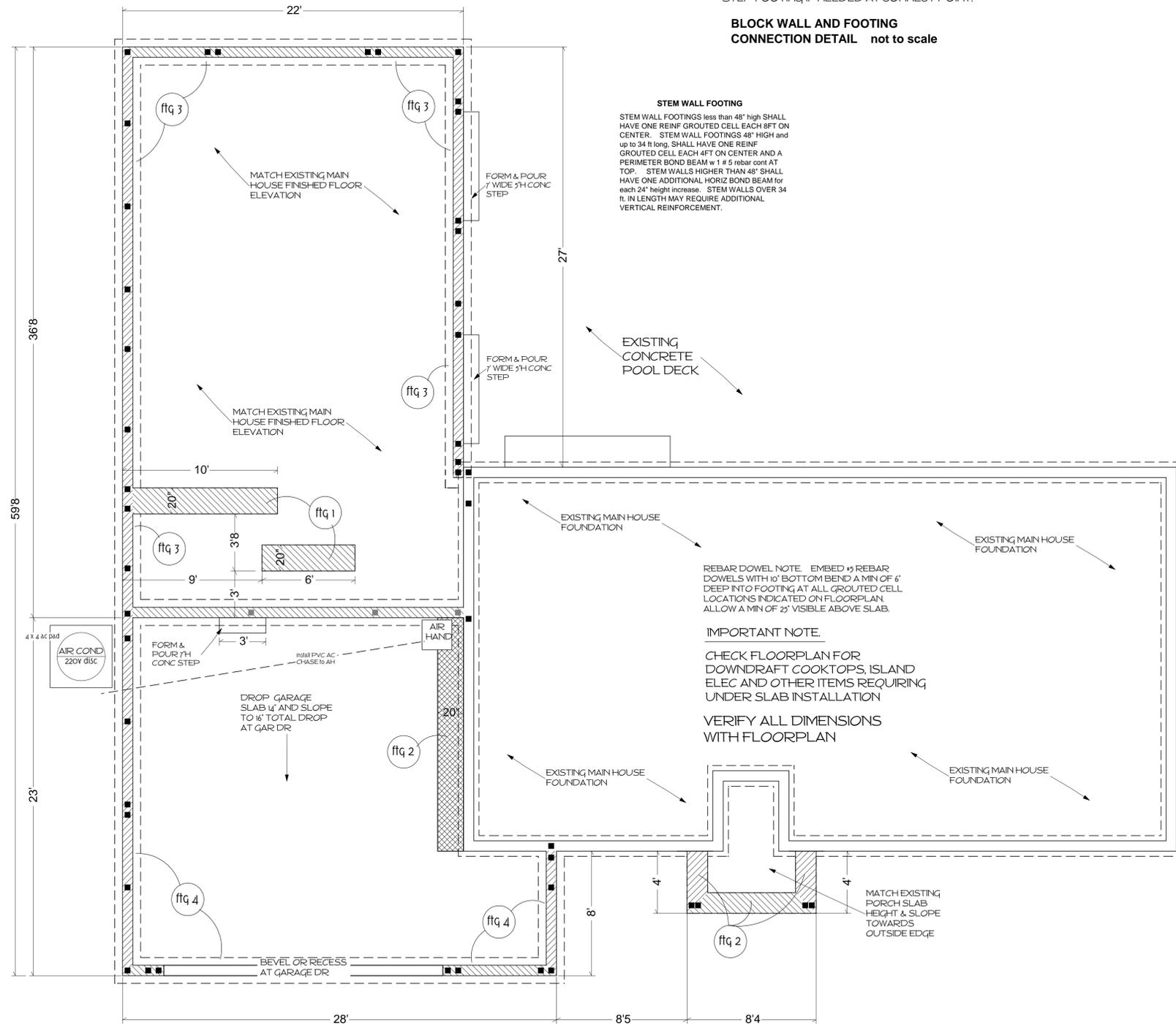


epoxy bond 6' into existing footing and allow 25' wire tie lap onto each rebar in end of new footing. match rebar count in new footing, STEP FOOTING IF NEEDED AT CONNECT POINT.

BLOCK WALL AND FOOTING CONNECTION DETAIL not to scale

STEM WALL FOOTING

STEM WALL FOOTINGS less than 48" high SHALL HAVE ONE REINF GROUDED CELL EACH 8FT ON CENTER. STEM WALL FOOTINGS 48" HIGH and up to 34 ft long SHALL HAVE ONE REINF GROUDED CELL EACH 4FT ON CENTER AND A PERIMETER BOND BEAM w 1 # 5 rebar cont AT TOP. STEM WALLS HIGHER THAN 48" SHALL HAVE ONE ADDITIONAL HORIZ BOND BEAM for each 24" height increase. STEM WALLS OVER 34 ft. IN LENGTH MAY REQUIRE ADDITIONAL VERTICAL REINFORCEMENT.



FOUNDATION PLAN 1/4" = 1'0

ENGINEERING NOTE

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SEAL

CONSULTING ENGINEER: **JOE EDWARD DEEN, JR P.E.**
FL. P. E. # **36070**
PH: **321-480-1500**
ADDRESS: **PO BOX 188 SHARPES, FL 32959**

BLOCK SHEARWALL NOTE: EACH BLOCK WALL SEGMENT FROM GROUT FILLED CELL TO CELL CONSTITUTES A STRUCTURAL SHEARWALL.

WINDOW & DR COMPLIANCE
ALL NEW WINDOWS AND EXTERIOR DOORS TO COMPLY WITH FBC WIND LOAD AND LABELING REQUIREMENTS

SLAB NOTES
4" THICK 2500 PSI CONC MIN. CONCRETE SLAB WITH 6 X 6 10/10 WWF REINFORCING OR FIBERMIX AND .006 MIL VISQUEEN OR OTHER PROVEN VAPOR BARRIER OVER TERMITE TREATED SOIL.

DROP SLAB NOTES
IN GARAGE DROP SLAB 14" AT STEP DOWN AND SLOPE DOWN TO A TOTAL DROP OF 16" AT OH GAR DOOR. BEVEL OR RECESS SLAB 1/2" UNDER GAR DOOR.
ON PORCH SLABS DROP 4" AND SLOPE 1/2" TO OUTSIDE EDGE.

CURB NOTE: IN GARAGE INSTALL 7 1/2" WIDE LEVEL CURB FOR BLK WALLS AND 6" WIDE LEVEL CURB FOR EXTERIOR WOOD FRAME GARAGE WALLS. INSTALL SIMILAR CURBS AT RECESSED SHOWERS ALONGSIDE EXTERIOR WALLS.

FOOTING NOTES
MINIMUM 2500 PSI CONCRETE FOOTINGS. PLACE # 5 REBAR CONTINUOUS IN BOTTOM OF FOOTING. OBTAIN REBAR COUNT FROM TYP FOOTING DETAIL. LAY REBAR HORIZONTALLY ON WIRE CHAIRS IN BOTTOM OF FOOTINGS. MAINTAIN MINIMUM LAP OF 25" AT ALL SPLICES. WIRE TIE ALL LAPS. PLACE 1 #5 CORNER BAR AT EA EXTERIOR FTG INTERSECTION

BLOCK WALL REBAR NOTES
EMBED #5 REBAR VERTICAL DOWEL with standard bottom bend A MIN OF 6" DEEP INTO FOOTING AT ALL GROUDED CELL LOCATIONS INDICATED ON FLOORPLAN. ALLOW A MIN OF 25" VISIBLE ABOVE SLAB. HOLD IN 4" FROM OUTER EDGE

REBAR NOTE - UNLESS OTHERWISE NOTED, USE MIN GRADE 40 #5 REBAR WITH A STANDARD STRENGTH OF 40,000 PSI. AS REINFORCEMENT IN ALL CONCRETE FOOTINGS, WALLS, CONCRETE BEAMS, AND COLUMNS.
MIN 2" CLEARANCE FROM ALL REBAR TO EDGE OF FOOTING OR SLAB. NOTIFY BUILDER OF ANY DIMENSIONAL ERRORS BEFORE FOOTING DIG-OUT.

BOLT EMBEDMENT IN EXTERIOR BEARING WOOD FRAME WALLS

TYP 1/2" X 10" J-BOLTS EMBEDDED 7" DEEP INTO FOOTING EA 24" ALONG PERIMETER WALL. ALSO PLACE ONE BOLT 6" FROM EACH CORNER. NO REBAR IS TO BE VISIBLE ABOVE SLAB TOP IN FOOTINGS FOR FRAME WALLS

SOIL PREPARATION NOTES
SOIL AREA UNDER FOOTINGS SHALL HAVE A MIN OF 2000 PSF BEARING CAPACITY. SOIL AREAS UNDER BUILDING FOUNDATION SHALL HAVE ALL VEGETATION, STUMPS AND ORGANIC DEBRIS REMOVED. ADDED FILL SHALL BE CLEAN, GRANULAR AND PROPERLY PLACED, LEVELED, AND COMPACTED

COMPACTION BENEATH ALL FLOOR SLABS & FOOTINGS SHOULD BE VERIFIED FOR A DEPTH OF 12" AND MEET THE 95% CRITERIA (MODIFIED PROCTOR, ASTM D-1557) DENSITY TESTING

PLUMBING RISER NOTES
ALL PVC WASTE LINES, MINIMUM 1/8" PF SLOPE. INSTALL SLEEVE AT EACH EXTERIOR FOOTING INTERSECTION. INSTALL CLEANOUT NEAR HOUSE WALL AND AT GRADE LEVEL ABOVE SEWER CONNECTION. NOMINAL VENT AND LINE SIZES SHOWN MAY BE MODIFIED BY PLUMBING CONTRACTOR. INSTALL SOFT METAL WEATHERPROOF BOOTS ON ALL VENTS THROUGH ROOF.

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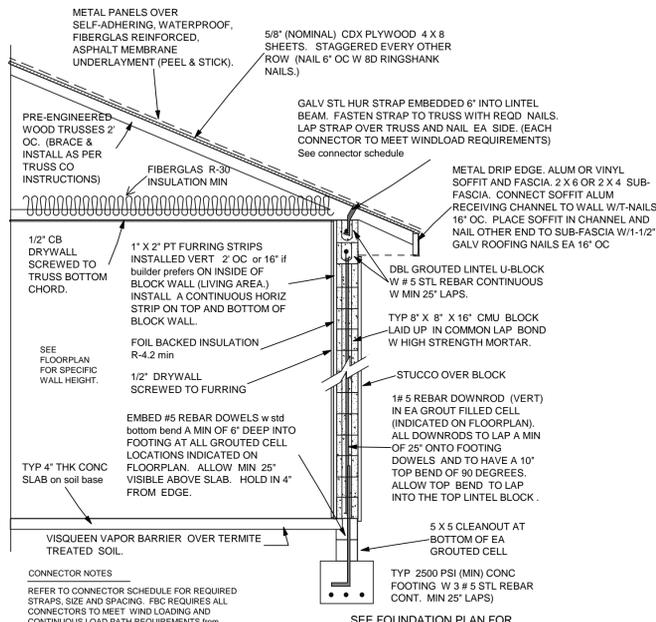
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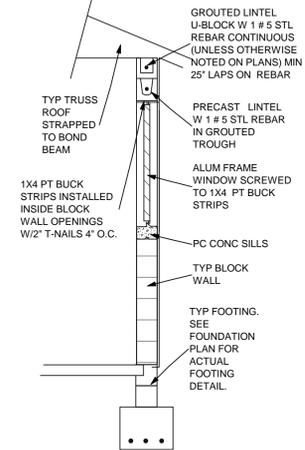
SLAB, FOUNDATION & FOOTING DETAILS.
PLUMBING RISER DIAGRAM

GENERAL NOTES
 THIS PLAN MUST BE THOROUGHLY REVIEWED FOR ACCURACY BY BOTH BUILDER AND OWNER AND ALL SUBCONTRACTORS AND SUPPLIERS BEFORE COMMENCING CONSTRUCTION. STEVOR OR ORDERING MATERIALS. ANY PLAN DEFICIENCIES, ERRORS OR OMISSIONS REQUIRE BUILDER OR OWNER TO NOTIFY THE DESIGNER OF SAME BY CERTIFIED MAIL TO CORRECT ORIGINAL DRAWINGS. FAILURE TO NOTIFY DESIGNER PRIOR TO ANY CONSTRUCTION COMMENCING ON PROJECT OF THE ABOVE ITEMS SHALL INDICATELY BE THE BUILDER'S AND ALL LIABILITY IN REGARDS TO SAID ITEMS. NOTICE IS HEREBY GIVEN TO BUILDER AND OWNER THAT THE DESIGNER IS NOT AN ARCHITECT OR ENGINEER AND IS NOT RESPONSIBLE FOR ANY PRODUCT OVERSIGHTS OR STRUCTURAL DEFICIENCIES. ALL DRAWINGS SHALL REMAIN THE COPYRIGHTED PROPERTY OF GRIFFITH PLANS. THE FLOORPLAN MAY HAVE BEEN DESIGNED FROM DEAS AND SKETCHES FURNISHED BY THE OWNER OR BUILDER TO THE DESIGNER. NONE OF THE INFORMATION FURNISHED TO THE DESIGNER CONTAINED COPYRIGHT MARKS OR APPEARED TO BE COPYRIGHTED. ANY COPYRIGHT INFRINGEMENT NOTICES OR LIABILITY REGARDING THE ORIGINAL PLAN SHALL REMAIN BETWEEN THOSE INTERESTED PARTIES. USE OF THIS PLAN ON ANY COPIES OF THIS PLAN WHETHER ALTERED OR UNCHANGED IS GRANTED BY DESIGNER, ONLY TO THE ORIGINAL PURCHASER FOR THE CONSTRUCTION OF ONE STRUCTURE ONLY.

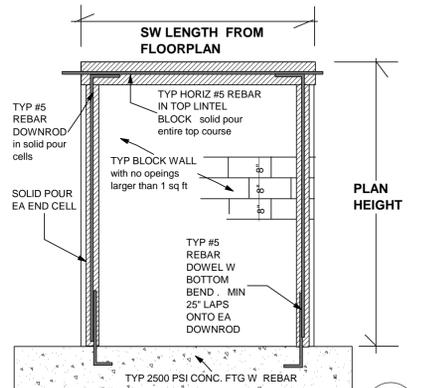
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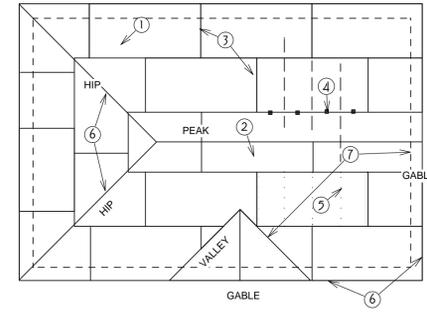
TYP BLOCK WALL DETAIL
 not to scale



TYPICAL WINDOW/DOOR LINTEL DETAIL
 not to scale



BLOCK SHEARWALL DETAIL
 not to scale



TYP ROOF DIAPHRAGM FOR FULLY ENCLOSED STRUCTURES
 not to scale

- DECKING NOTES**
- INSTALL 4 X 8 5/8" NOM CDX PLYWD DECKING AT RIGHT ANGLES TO ROOF TRUSSES/RAPERS BELOW
 - MIN PLYWOOD WIDTH IS 24"
 - STAGGER END JOINTS centered over framing member
 - INSTALL STEEL H-CLIP BETWEEN EACH UNBLOCKED PLYWOOD SEAM
- NAILING SCHEDULE**
- NAIL DECKING 6" OC AT EDGES AND INTERIOR WITH 8D RINGSHANK NAILS
 - NAIL DECKING 3" OC AT SUB FASCIA AND CORNERS AND AT HIP WITH 8D RINGSHANK NAILS
 - NAIL DECKING 4" OC AT VALLEYS AND GABLE ENDS WITH 8D RINGSHANK NAILS
 - INSTALL 2X4 BLOCKING AT GABLE END JOINTS 48" OC MAX.
- 2X4 BLOCKING NOTES**

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CONSULTING ENGINEER: **JOE EDWARD DEEN, JR. P.E.**
 FL. P. E. # **36970**
 PH: **321-480-1500**
 ADDRESS: **PO BOX 188 SHARPESS, FL 32959**

BLOCK SHEARWALL NOTE. EACH BLOCK WALL SEGMENT FROM GROUT FILLED CELL TO CELL CONSTITUTES A STRUCTURAL SHEARWALL.

WINDOW & DR COMPLIANCE
 ALL NEW WINDOWS AND EXTERIOR DOORS TO COMPLY WITH FBC WIND LOAD AND LABELING REQUIREMENTS

CONCRETE NOTES
 CAST IN PLACE CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 2500 PSI MINIMUM, AND STRAPS AND REBAR SHALL BE PROPERLY MIXED, PLACED AND CURED. USE 6X6 WELDED WIRE IN SLAB OR FIBERMIX CONCRETE. MINIMUM CONCRETE COVER FOR REINFORCEMENT SHALL BE NOT LESS THAN 2" FOR WALLS AND SLABS AND 3" FOR STEM WALLS AND FOOTINGS. ALL CONCRETE FOOTINGS SHALL HAVE A MINIMUM OF 2 # 5 STEEL REBAR CONTINUOUS AND A # 5 CORNER BAR AT EXTERIOR FOOTING INTERSECTIONS. AT EACH GROUDED CELL LOCATION INDICATED ON FLOORPLAN EMBED A vertical # 5 REBAR DOWEL WITH BOTTOM BEND 6" DEEP INTO FOOTING AND LEAVE A MIN OF 25" VISIBLE ABOVE SLAB LEVEL.

BLOCK WALL NOTES
 8" X 8" X 16" CMU 2 CELL HOLLOW CONCRETE BLOCK SHALL BE COMMON LAP BONDED WITH HIGH STRENGTH MORTAR. ONE # 5 REBAR vertical DOWNROD W/ TOP BEND SHALL BE PLACED IN EACH GROUDED CELL INDICATED ON FLOORPLAN. TOP COURSE OF BLOCK WALL SHALL BE INTEL U-BLOCK AND SHALL HAVE ONE # 5 REBAR PLACED HORIZ WITH 25" LAPS IN GROUDED TROUGH ALONGS ENTIRE BLOCK WALL PERIMETER.

GROUT IN BEAM, LINTELS AND FILLED CELLS SHALL BE CONSOLIDATED BY RODDING OR MECH VIBRATION. 5 X 5 CLEANOUTS ARE REQ AT THE BOTTOM OF EA GROUDED CELL.

GALV TRUSS STRAPS ARE TO BE PLACED IN TOP OF BEAM WHILE GROUT IS LIQUID. USE TRUSS PLAN TO PROPERLY LOCATE STRAPS. USE STRAP SCHEDULE FOR STRAP TYPES.

LINTEL NOTES
 PRECAST LINTELS SHALL BE USED ABOVE ALL BLOCK WALL OPENINGS UNLESS OTHERWISE INDICATED ON FLOORPLAN. MIN OF 8" BEARING OF MASONRY AT EACH END OF LINTEL. ALL LINTELS TO CONTAIN 1 # 5 REBAR PLACED HORIZ IN GROUDED TROUGH TO FULL LENGTH OF LINTEL.

WOOD BEARING HEADER NOTES
 DOUBLE 2 X 12 WOOD BEAM ON SPANS UP TO 10 FT. ON SPANS GREATER THAN 10' UP TO 12' USE TRIPLE 2 X 12 UNLESS ENGINEER DETERMINES DOUBLE 2X12 TO BE SUITABLE. USE PRE LAM BEAM FOR SPANS GREATER THAN 12 FT.

USE DBL 2 X 12 OVER WINDOW OPENINGS. OVER DOORS USE DOUBLE 2x 10 TO OBTAIN 83" HT IN 6" HIGH WALLS. WALLS 97" AND HIGHER USE DOUBLE 2 X 12 HEADER.

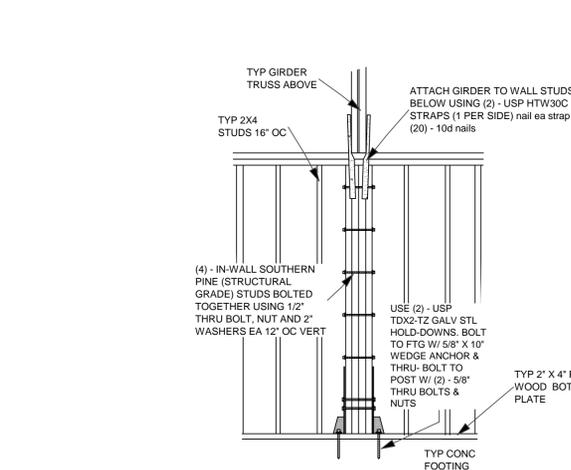
2 X 4 JACK STUDS REQ AT EA END OF BEARING HEADER. OPENINGS UP TO 3' USE 1 JACK EA END. OPENINGS OVER 3' BUT UNDER 6' USE 2 JACKS EA END. OPENINGS 6' BUT UNDER 8' USE 3 JACKS EA END. OPENINGS 8' TO 10' USE 4 JACKS EA END. STRAP EA HEADER END TO STUDS FOR LIFT AND LOAD PATH REQUIREMENTS. REFER TO TRUSS ENGINEERING FOR LOAD AND REFER TO CONNECTOR SCHEDULE FOR PROPER STRAP. MATCH END STUD COUNT TO JACK STUD COUNT.

REBAR NOTE UNLESS OTHERWISE NOTED, USE MIN GRADE 40 # 5 REBAR WITH A STANDARD STRENGTH OF 40,000 PSI. AS REINFORCEMENT IN ALL CONCRETE FOOTINGS, WALLS, CONCRETE BEAMS, AND COLUMNS.

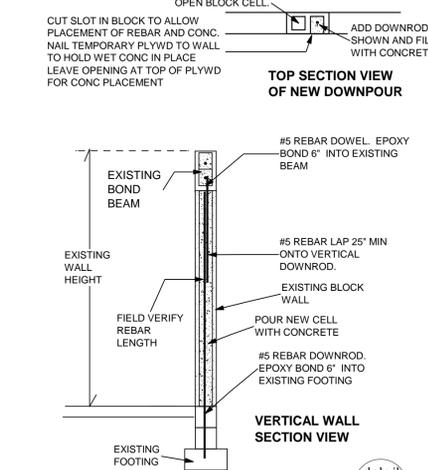
PROJECT ADDRESS: **337 SECOND AVE INDIANLANTIC, FL 32903**
 SUBDIV: **INDIANLANTIC BY THE SEA**
 BUILDER: **L.H. TANNER CONSTRUCTION**
 PH: **321-259-8099**
 DATE DRAWN: **APRIL 12TH 2019**
 REVISION DATES: **4-16-19**

NEW ADDITION FOR SMITH RESIDENCE

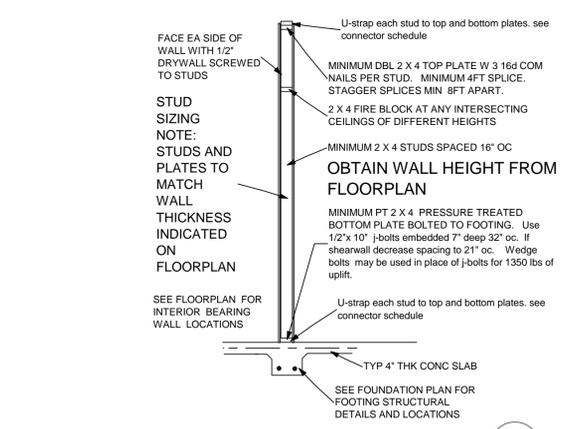
Griffith Plans
 Custom Home Plans
 Addition & Remodel Plans
 321-632-7643 www.griffithplans.com



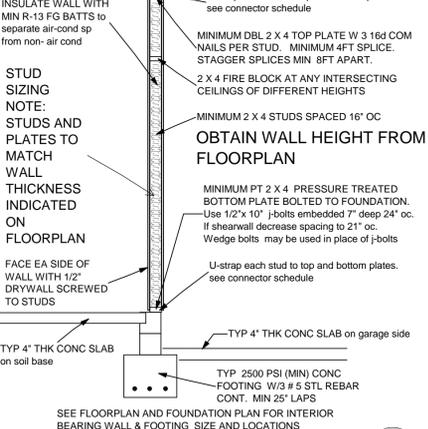
IN-WALL BEARING STUD DETAIL
 not to scale (at garage wall)



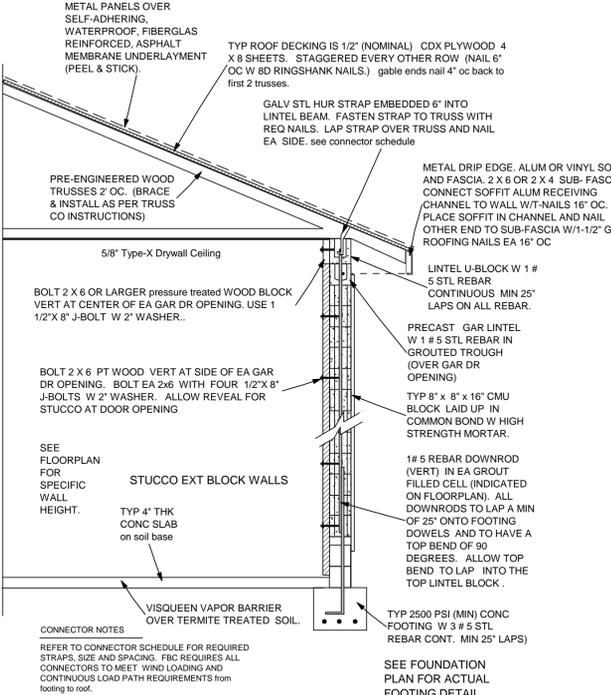
DOWNPOUR DETAIL grouted cell added to existing wall
 not to scale



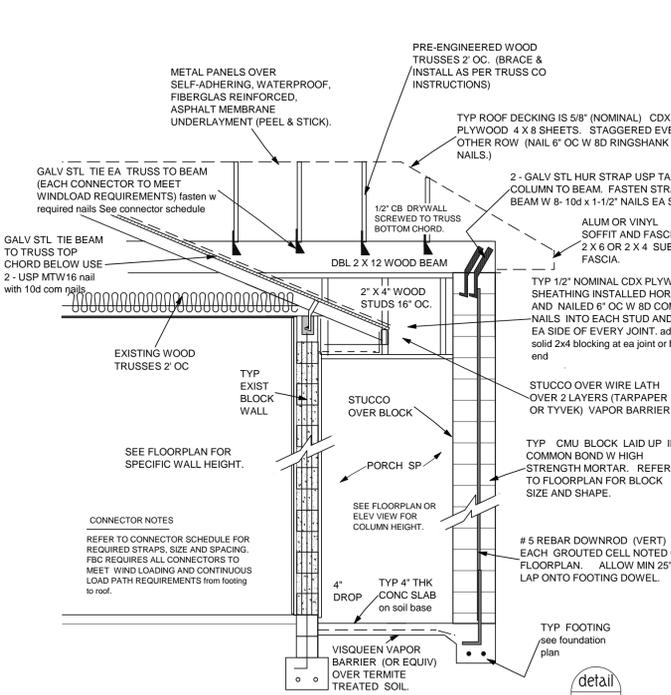
INTERIOR BEARING WOOD FRAME WALL
 not to scale



GARAGE INTERIOR BEARING WOOD FRAME WALL
 not to scale



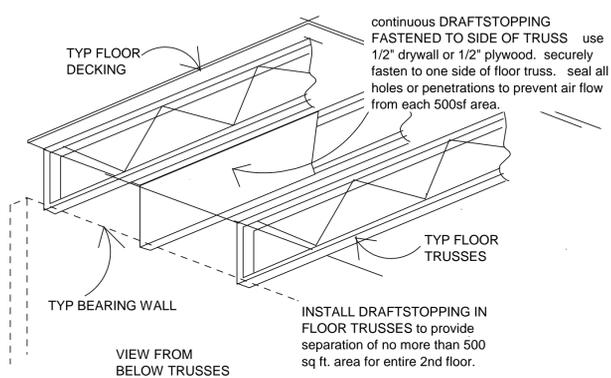
GARAGE WALL SECTION & DOOR BUCK DETAIL
 not to scale



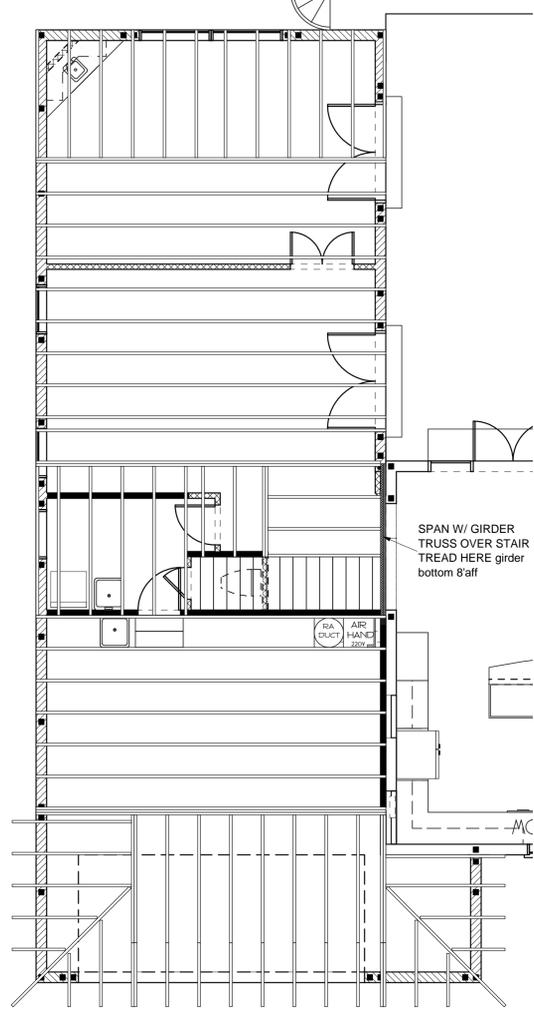
FRONT PORCH WALL SECTION
 not to scale

VERIFICATION REQUIRED
this note applies to builder,
owner and all subcontractors

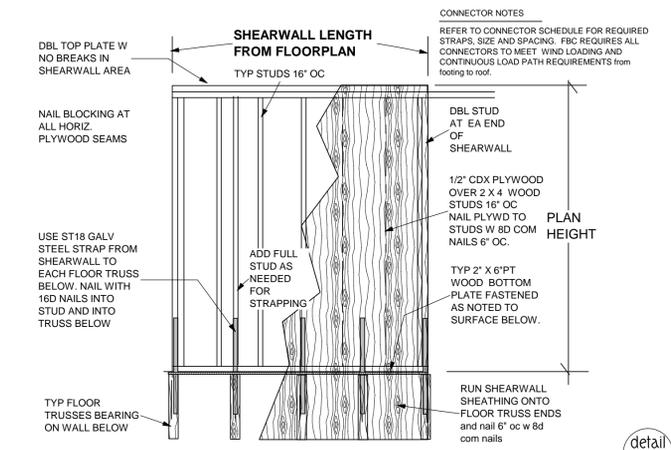
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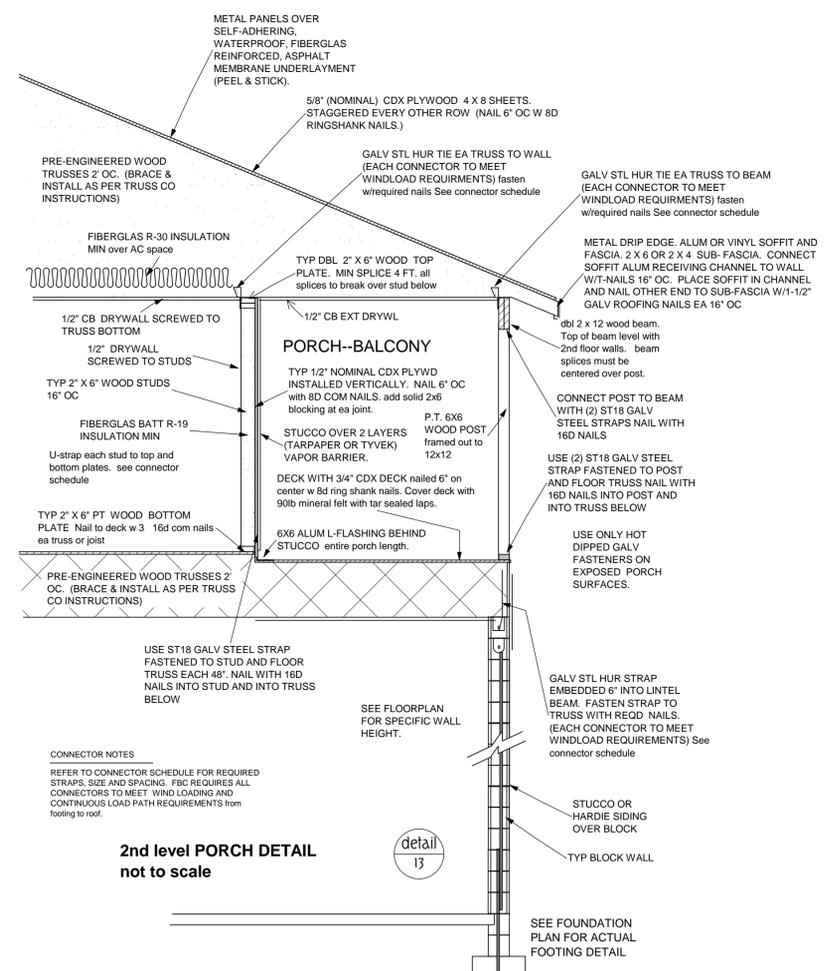
TYP DRAFTSTOPPING DETAIL
not to scale



CONCEPTUAL FLOOR TRUSS LAYOUT
not to scale
(refer to actual layout by truss company)



2ND FLOOR FRAME SHEARWALL DETAIL
not to scale



2nd level PORCH DETAIL
not to scale

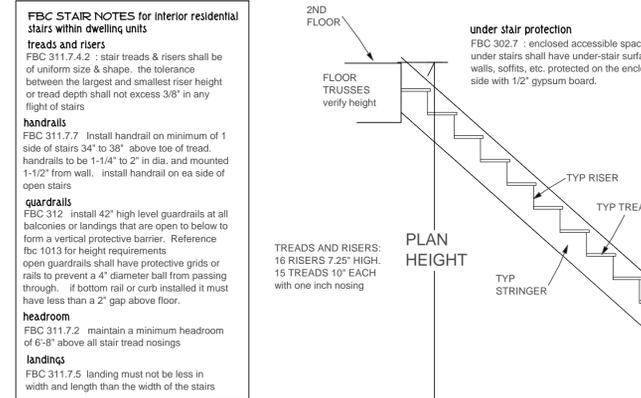
STAIR FRAMING NOTES for interior residential stairs
NOTE: FIELD MEASUREMENTS MAY DIFFER FROM THOSE INDICATED. SPINDLES MAY BE SUBSTITUTED FOR 2 X 4 & DRYWALL. (builders option.) THESE STAIR PLANS ARE INTENDED TO PROVIDE BASIC INFORMATION ONLY. FIELD MODIFICATION MAY BE REQUIRED.

stringers and landing const
use three 2 x 12 stringers for each stair run up to 4' wide. frame raised landings with 2 x 4 studs 16" oc and 2 x 6 joists 16" oc minimum. use 5/8" (nom) oxd plywd on landing decks.

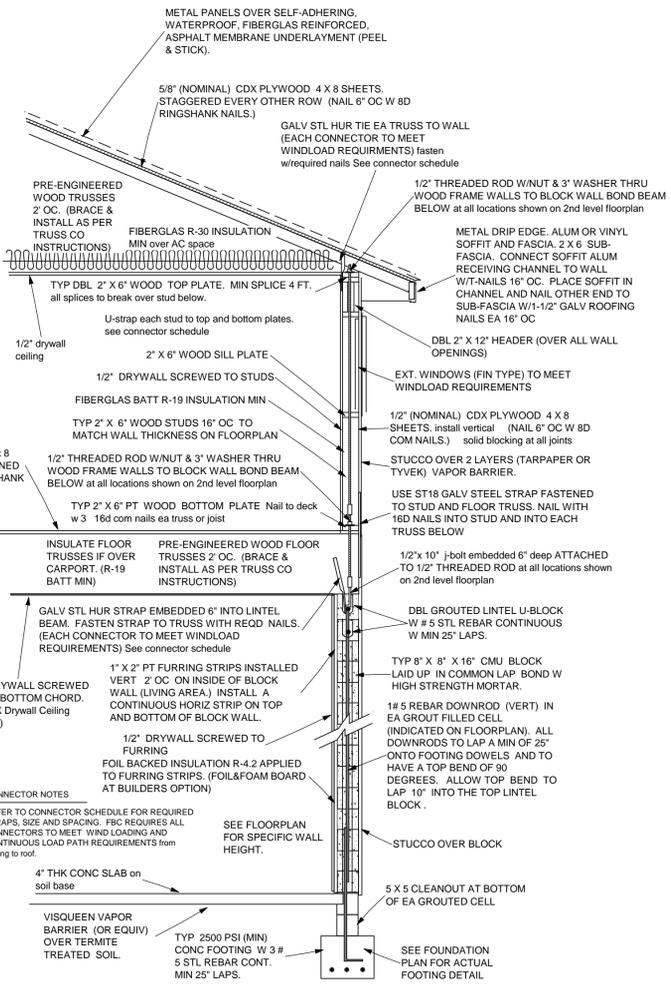
floor heights
verify all floor heights on jobsite to accurately determine riser heights and tread width and count.

concrete to wood contact
use tarpaper or flashing or PT lumber at base of stringers and at all framing in direct contact with concrete.

treads and risers
CUT RISERS FROM 1 x 8 WOOD CUT TREADS FROM 2x12 WOOD MAXIMUM RISER HEIGHT 7.314"



INTERIOR STAIR DETAIL
not to scale



TYP 2 STORY WALL SECTION DETAIL
not to scale

ENGINEERING NOTE
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SEAL

CONSULTING ENGINEER: **JOE EDWARD DEEN, JR. P.E.**
FL. P. E. # **36070**
PH: **321-480-1500**
ADDRESS: **PO BOX 188 SHARPS, FL 32959**

BLOCK SHEARWALL NOTE: EACH BLOCK WALL SEGMENT FROM GROUT FILLED CELL TO CELL CONSTITUTES A STRUCTURAL SHEARWALL.

WINDOW & DR COMPLIANCE
ALL NEW WINDOWS AND EXTERIOR DOORS TO COMPLY WITH FBC WINDLOAD AND LABELING REQUIREMENTS.

FOOTING NOTES FOR 2 STORY WALLS
MINIMUM 2500 PSI CONCRETE FOOTINGS. PLACE # 5 REBAR CONTINUOUS IN BOTTOM OF FOOTING. LAY REBAR HORIZONTALLY ON WIRE CHAIRS IN BOTTOM OF FOOTINGS. MAINTAIN MINIMUM LAP OF 25" AT ALL SPLICES. WIRE TIE ALL LAPS.

REBAR DOWEL NOTE: EMBED #5 REBAR vertical DOWEL with standard bottom bend A MIN OF 6" DEEP INTO FOOTING AT ALL GROUTED CELL LOCATIONS INDICATED ON FLOORPLAN. ALLOW A MIN OF 25" VISIBLE ABOVE SLAB. HOLD IN 4" FROM OUTER EDGE.

MIN 2" CLEARANCE FROM ALL REBAR TO EDGE OF FOOTING OR SLAB. NOTIFY BUILDER OF ANY DIMENSIONAL ERRORS BEFORE FOOTING DIG-OUT.

DRAFTSTOPPING
INSTALL DRAFTSTOPPING IN FLOOR TRUSSES to provide separation of no more than 500 sq ft. area for entire 2nd floor.
continuous DRAFTSTOPPING FASTENED TO SIDE OF TRUSS use 1/2" drywall or 1/2" plywood, securely fasten to one side of floor truss. seal all holes or penetrations to prevent air flow from each 500sf area.

FLOOR TRUSSES
TRUSS DRAWINGS SHALL BE SUBMITTED TO ENGINEER FOR REVIEW PRIOR TO FABRICATION BY TRUSS CO. APPROVED DRAWING SHALL INCLUDE LAYOUT, DESIGN LOADS, REACTIONS (DL AND LL) AND ALL INFORMATION FOR INSTALLATION. TRUSS DESIGN SHALL INCLUDE UPLIFT CALCS AND DESIGN LOADS FOR GRAVITY AND UPLIFT. ALL APPROVED DRAWINGS AND CALCS MUST BE SEALED BY A FL REGISTERED ENGINEER. ALL BRACING CALLED FOR IN TRUSS DESIGN IS TO BE PROPERLY INSTALLED.

TRUSS COMPANY MUST NOTIFY ENGINEER in writing OF ANY PLAN DISCREPANCIES or changes. IN BEARING POINTS, FLOOR TRUSS DESIGN OR FOOTING LOCATIONS NOT INDICATED ON THIS ORIGINAL PLAN. THIS PLAN WAS DESIGNED BEFORE and without benefit of THE TRUSS DESIGN AND ANY MODIFICATION TO MEET TRUSS REQUIREMENTS IS THE RESPONSIBILITY OF THE TRUSS CO AND THE BUILDER.

FLOOR TRUSS PLANS FROM TRUSS CO. SHALL INCLUDE FLOOR LIVE LOAD IN ADDITION TO OTHER RECD INFORMATION.

REBAR NOTE UNLESS OTHERWISE NOTED, USE MIN GRADE 40 #5 REBAR WITH A STANDARD STRENGTH OF 40,000 PSI. AS REINFORCEMENT IN ALL CONCRETE FOOTINGS, WALLS, CONCRETE BEAMS, AND COLUMNS.

CONSTRUCTION NOTES ON THIS PAGE APPLY TO 2-STORY CONSTRUCTION

PROJECT: **337 SECOND AVE**
ADDRESS: **INDIALANTIC, FL 32903**
SUBDIV: **INDIALANTIC BY THE SEA**
BUILDER: **L.H. TANNER CONSTRUCTION**
PH: **321-259-8099**
DATE DRAWN: **APRIL 12TH 2019**
REVISION DATES: **4-16-19**

NEW ADDITION FOR SMITH RESIDENCE

Griffith Plans
Custom Home Plans
Addition & Remodel Plans
321-632-7643 www.griffithplans.com

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Hi neighbors,

We are excited about putting an addition on our house. The renovation will add a family room, recreation room, master suite, and exercise room, and will expand our garage to allow for 21-ft two-car garage. In order to allow for a functional two-car garage, we need to ask the city for a variance. The code requires 10 feet from property line to structure. The garage will require us to request a variance of 3 feet, as the structure will be 7 feet from the property line. We feel that this addition will only have a positive impact on the neighborhood, as it is a substantial improvement which will improve neighborhood home values.

Attached is a survey of the existing house and a survey with the addition superimposed.

If you do not object, please fill in your information and sign below so that we can proceed to the city compliance board to request the variance.

Thank you very much,

Jim and Renée Palmer-Smith
337 2nd Ave., Indialantic
(321) 446-2003

I am an Indialantic homeowner, located near the Palmer-Smith residence. I understand that the Palmer-Smiths are requesting a variance of 3 feet in order to allow for a functional two-car garage to be included in their home addition. I support allowing this variance.

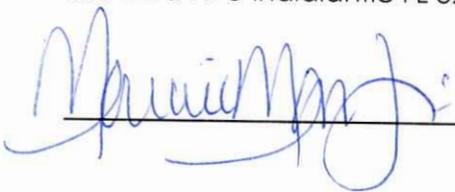
Roland Montoya
336 Third Ave Indialantic FL 32903

 Date: 03/15/2020

Mary Watt Montoya
336 Third Ave Indialantic FL 32903

 Date: 03/15/2020

Marnie Montoya
336 Third Ave Indialantic FL 32903

 Date: 03/15/2020

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Ed Smith
401 N Ramona Ave Indialantic FL 32903

Ed Smith Date: 3/16/20

Heather Smith
401 N Ramona Ave Indialantic FL 32903

Heather Smith Date: 3/16/20



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Dr Drema Moody
401 Second Ave Indialantic FL 32903

 Date: 3/14/2020

Agenda item: C 2



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David Beckwith
334 Second Ave Indialantic FL 32903

 Date: 3/15/20

Sandy Beckwith
334 Second Ave Indialantic FL 32903

 Date: 3/15/20

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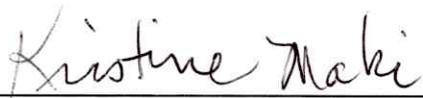
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Dr Lance Maki
346 Third Ave Indialantic FL 32903

 Date: 18 Mar 20

Kristine Maki
346 Third Ave Indialantic FL 32903

 Date: 3-14-20