

**AGENDA**  
**TOWN OF INDIALANTIC BOARD OF ADJUSTMENT**  
**Council Chamber, 216 Fifth Avenue, Indialantic, FL 32903**  
**January 12, 2022 AT 5:30 P.M.**

**A. Call to Order:**

David A Justice	Chairman
Chris Campbell	Vice Chairman
Safvat Kalaghchy	Member
Jeffrey Schulte	Member
Stephen Baughn	Member
Michael Hill	1 <sup>st</sup> Alternate
(Vacant)	2 <sup>nd</sup> Alternate

**B. Approval of Prior Meeting Minutes:**

Minutes – November 10, 2021

**C. Variance Request – Coastal Construction Control Line:**

Site address: 30, 40, & 50 Eighth Avenue, further described as lots 13 and 14; Block 38, Indialantic By-the-Sea; Parcel ID 27-38-31-EO-38-13

Zoning: T – Tourist District

Applicant/Owner: Clayton Bennett, PE, Bennett Engineering & Consulting, LLC / MJS Development, LLC

1. A variance in accordance with Code of Ordinances Section 103-39 (c) (1) to construct a multifamily residential project 31.1 ft seaward of the coastal construction control line.

**D. Adjournment:**

Notice: Pursuant to section 286.0105, Florida Statutes, the town hereby advises the public that if a person decides to appeal any decision made by this board with respect to any matter considered at its meeting or hearing, he will need a record of the proceedings, and may need to ensure that a verbatim record of the proceedings is made which includes the testimony and evidence upon which the appeal is to be based. This notice does not constitute consent by the town for the introduction or admission into evidence of otherwise inadmissible or irrelevant evidence, nor does it authorize challenges or appeals not otherwise allowed by law.

Americans with Disabilities Act: Persons planning to attend the meeting who need special assistance must notify the office of the town clerk at 321-723-2242 no later than 48 hours prior to the meeting.

**Meeting Minutes**  
**TOWN OF INDIALANTIC BOARD OF ADJUSTMENT**  
**Council Chamber, 216 Fifth Avenue, Indialantic, FL 32903**  
**November 10, 2021 AT 5:30 P.M.**

**A. Call to Order:**

A regular meeting of the Board of Adjustment was called to order at 5:30 p.m. by Chairman Justice, followed by the pledge of allegiance. The following members were present:

David A Justice	Chairman
Chris Campbell	Vice Chairman
Safvat Kalaghchy	Member
Stephen Baughn	Member
Michael Hill	1 <sup>st</sup> Alternate

Also present:

Michael Casey, Town Manager  
Paul Gougelman, Town Attorney  
Rebekah Raddon, Town Clerk

**B. Approval of Prior Meeting Minutes:**

Minutes – October 6, 2021

Motion by Vice Chairman Campbell, seconded by Member Baughn, and vote unanimous to approve the meeting minutes as written. Motion carried 5-0.

**C. Variance Request:**

Site address: 1320 S. Riverside Drive, also known as Indialantic by the Sea Lot 15, Blk 67

Zoning: R-1-A Single Family Residential

Applicant/Owner: Donald and Joy Hess

1. Code of Ordinances Section 113-331 (6) b. Lot Dimensions – A variance of 30' to the required 100' lot width requirement to demolish/rebuild a single family home on a 70' wide lot.

Donald Hess, 1515 S. Miramar Ave., spoke. He purchased the property in May hoping to remodel and restore the home on site, but due to water damage and termites the structure can't be salvaged and a complete tear down is recommended. The 0.75 acre parcel was platted in 1925 with a width of 70' at the road like all others on the block, and it widens as you head west. There have been no changes to the parcel since it was platted. Mr. Hess would like to tear down the existing structure and build a new home. He noted that without the variance, the lot is unbuildable. Other parcels nearby, such as 900 S. Riverside Drive, have been granted variances for the same issue.

Joy Hess, 1515 S. Miramar Ave., described the existing structure.

Town Manager Casey noted that several decades ago this lot, 15, and the abutting lot, 16, were under the same ownership, as noted in the title search. Town Attorney Gougelman provided historical information regarding the code and case law, in particular, the Suplee case. This case would be identical to the Suplee case if not for the issue of the abutting parcel being under common ownership many years ago and later being deeded to different owners. Mr. Gougelman noted that without the variance however, the lot is unusable, which is an unnecessary hardship. He recommends the board grant the variance.

There was discussion regarding why this case requires a formal hearing; Mr. Gougelman noted that the Board of Adjustment is the final authority with regard to variances and the hearing process prevents unrestrained building activity by the town and building official. There was discussion by the board; it was noted by the owners that they intended to keep the lot wooded and would likely set the building back to the point where the lot widens to 100'.

**Motion by Vice Chair Campbell, seconded by Member Kalaghchy to grant the variance based on an unnecessary hardship with the condition that if the parcel is combined with an abutting parcel in the future the variance will terminate. Motion carried 5-0.**

**Variance approved with condition.**

**D. Adjournment:**

There being no further discussion, the meeting was adjourned at 5:53 p.m.

Attested by:

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David Justice, Chairman

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Rebekah Raddon, CMC, Town Clerk

**TOWN OF INDIALANTIC**  
Brevard County, Florida 32903  
**APPLICATION FOR ZONING VARIANCE**

Application is hereby made for a variance in accordance with Section 17-142 of the Indialantic Code of Ordinances.

**PLEASE PRINT OR TYPE**

1. Applicant states that the property is located at:

Lot(s): **13 & 14**  
Block: **38**

Street Address **\_\_30, 40, & 50 Eight Ave, Indialantic, FL 32903\_\_**

2. Applicant's name, address and phone number:

Name: **\_\_Bennett Engineering & Consulting, LLC, Clayton Bennett, PE \_\_** Phone: **\_\_321-622-4462\_\_**

Address: **\_\_4940 Ranchland Road, Melbourne, FL 32934\_\_**

3. Property is owned by: **\_\_MJS Development, LLC\_\_**

who resides at: **\_\_7811 Veragua Dr. Playa Del Ray, CA 90293 32901\_\_**

4. The relationship of the applicant to the property is:

OWNER: \_\_\_\_\_ ATTORNEY: \_\_\_\_\_ AGENT: **\_\_X\_\_**

5. The property is zoned as: \_\_\_\_\_

6. The requested variance(s) is for the following non-conformities of the Indialantic Code:

Code Section

Explain Non-conformity

- a. **103-39**      **A variance of 31.1 ft is requested to construct seaward of the coastal construction control line.**
- b.
- c.
- d.

7. Site plans are the same as submitted to the Zoning Board?

YES **\_\_X\_\_** NO \_\_\_\_\_ Date: \_\_\_\_\_

8. Should this variance not be granted, a hardship will be imposed and/or the applicant will be injured in the following respects:

- **Without a variance to section s 103-30, only about half of the parcel would be buildable.**

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**SECTION 17-142. APPLICATION**

Any person desiring a variance shall file a written application with the Town Clerk who shall provide a true copy of the published legal notice concerning said application to interested parties pursuant to section 17-143. Each application for variance shall specify the section and subsection of the chapter of the Indialantic Code of Ordinances involved, shall set forth the exact variance desired with respect thereto, shall furnish a site plan (12 copies) on which the variance is to occur, shall explicitly define the details of the variance involved, and shall state the basis on which the variance is requested.

**SECTION 17-143. NOTICE OF HEARING**

(1) Upon receipt of the application for a variance, the Town Clerk shall cause a notice of the application and the time and place of the hearing thereon to be published, at least fifteen (15) days and not more than thirty (30) days prior to such hearing, in a newspaper of general circulation in the town, and shall post a copy in the Town Hall. The Town Clerk shall mail a copy of such notice to those persons owning property within the radius of two hundred (200) feet of the property affected by the application.

(2) The notice shall state that protests may be filed with the Town Clerk within a specified time, and shall state that any person owning or residing upon or occupying property within the radius of two hundred (200) feet of the property affected by the application shall have the right to protest the variance requested.

A fee of \$400.00 is required at the time the application is filed.

I hereby agree to the payment of the fee as prescribed by the Indialantic Code of Ordinances. I hereby depose and say that all the above statements are true and correct to the best of my knowledge.

Signature of applicant \_\_\_\_\_ Date \_\_\_\_\_

Sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_\_

NOTARY \_\_\_\_\_ Commission expires \_\_\_\_\_

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**FOR OFFICE USE ONLY**

Application checked and accepted by: \_\_\_\_\_ Date \_\_\_\_\_

**ACTION BY BOARD OF ADJUSTMENT:**

Approved \_\_\_\_\_ Disapproved \_\_\_\_\_ Date \_\_\_\_\_

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Board of Adjustment Chairman

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Board of Adjustment Secretary

OWNER AUTHORIZATION

Date: September 22, 2021

Mark Santoro, Managing Member  
I, MJS Development, LLC, owner of the following property:  
Lots 13 and 14, Block 38, INDIALANTIC BYTH E SEA, according to the  
Lot(s) \_\_\_\_\_ Block \_\_\_\_\_ map or plat thereof, recorded in Plat Book 3, Page 35, Public Records of  
Brevard County, Florida.  
30, 40, & 50 Eight Ave, Indialantic, Florida, 32903  
Bennett Engineering & Consulting, LLC  
do hereby authorize Clayton A. Bennett, PE to apply for a variance to Indialantic  
Code Section 103-39 as my:  
Agent X Attorney \_\_\_\_\_ Tenant \_\_\_\_\_

  
Signature

Mark Santoro, Managing Member  
Printed Name

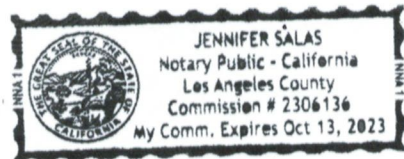
California  
State of ~~Florida~~

Los Angeles County

The foregoing Owner Authorization  
acknowledged before me this September 24, 2021, by  
Mark A. Santoro, who is personally known to me and/or  
who has produced California Drivers License, as identification.

Notary Public: 

Notary Stamp:



# **COASTAL CONSTRUCTION CONTROL LINE VARIANCE REQUEST REPORT**

TO THE

**TOWN OF INDIALANTIC**

FOR

**8<sup>th</sup> Ave Townhomes**  
**30, 40, & 50 Eight Ave**  
Indialantic, FLORIDA

OWNER

**MJS Development, LLC**  
7811 Vergua Dr.  
Playa Del Ray, CA 90293

PREPARED BY

**Bennett Engineering & Consulting, LLC.**

Clayton A. Bennett, P.E.  
Fla. No. 53129  
4940 Ranchland Road  
Melbourne, FL 32934  
CA #28236

BEC No. 21.400

December 10, 2021

## **I PROJECT OVERVIEW**

The proposed improvements for the referenced project include the construction of a three-unit townhome development on a vacant site located at 30, 40, & 50 Eight Ave in the Town of Indialantic, Brevard County, Florida.

Although the proposed townhomes will be located landward of Wave Crest Ave, the site is located seaward of the 1986 Coastal Construction Control Line (CCCL) and will thus be required to be designed in accordance with Section 3109 Florida Building Code (FBC) which includes a pile foundation designed to resist the predicted forces of a 100-year storm event. All construction shall be designed to meet or exceed current design standards for coastal structures.

The Town of Indialantic requires a variance for all non-exempt major construction seaward of the Brevard County Coastal Construction Control Line (Section 103-39 Town Code). The owner of the property has applied for a variance in accordance with the Town variance procedures. The purpose of this report is to provide reasonable assurance that the development will not jeopardize the stability of the beach dune system, will not accelerate erosion, and will not endanger either adjacent or landward property or the property in question itself.

## **II VARIANCE JUSTIFICATION**

Section 103-39 (c) (2) (a) of the Town Code states that the Board of Adjustment shall grant a variance only when the applicant has met his burden of proof by providing that construction of the major structures seaward of the Coastal Construction Control Line will not jeopardize the stability of the beach dune system, will not accelerate erosion, and will not endanger either adjacent or landward property or the property in question itself; it being in the public interest and prudent to preserve and protect the beaches of the Town of Indialantic from harm. The following will outline how this development meets the above criteria.

### ***The development will not jeopardize the stability of the Beach Dune System.***

The proposed improvements are located landward of the estimated 30-year erosion line as prescribed by the Florida Department of Environmental Protection. In addition, the proposed improvements are to be located on a parcel of land which is located landward of a paved public street.

No work is proposed on or near the beach dune. The existing paved public street will serve as a barrier between the proposed construction and the beach dune. The existing native dune vegetation seaward of Wave Crest Ave is to remain for beach dune stabilization.

### ***The project will not accelerate erosion.***

No land clearing or excavation is proposed on or near the beach dune. In addition, the proposed improvements are located within previously disturbed areas.

***The project will not endanger either adjacent or landward property or the property in question itself.***

The following steps have been taken to protect the proposed improvements and the adjoining properties:

1. The proposed improvements are located on the landward side of an existing paved public street. The existing dune vegetation seaward of Wave Crest Ave is to remain to provide dune stabilization.
2. The proposed structure will be required to meet current coastal construction standards which includes a pile foundation designed to resist the 100-year storm event. The said coastal construction design standards require the structure to be securely anchored into the ground and provide reasonable assurance that the structure would not be broken apart or driven into adjacent or landward structures.
3. The proposed improvements will be subjected to the scrutiny of the State (Florida Department of Environmental Protection) during the Coastal Construction Permit application review process, thus providing reasonable assurance that the proposed development will comply with State Coastal and Environmental standards.

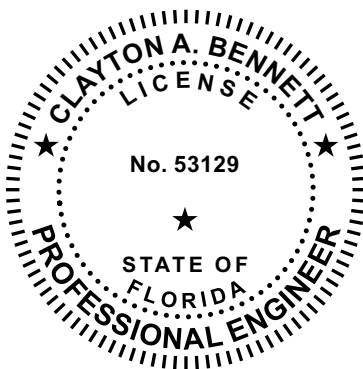
In considering the subject site along with the proposed design approach, reasonable steps have been taken to protect adjacent, landward and onsite structures. Therefore, it is in my professional opinion that the development of the site will not endanger adjacent or landward property or the property in question.

### **III CONCLUSION**

Based on the above information, the applicant requests that the Board of Adjustment grant a favorable decision to the variance request to Construct Seaward of the Coastal Construction Control Line.

### **IV CERTIFICATION**

The Coastal Construction Control Line Variance Request Report for the 8<sup>th</sup> Townhomes located at 30, 40, & 50 Eight Ave, Indialantic was prepared by me or under my direct supervision.

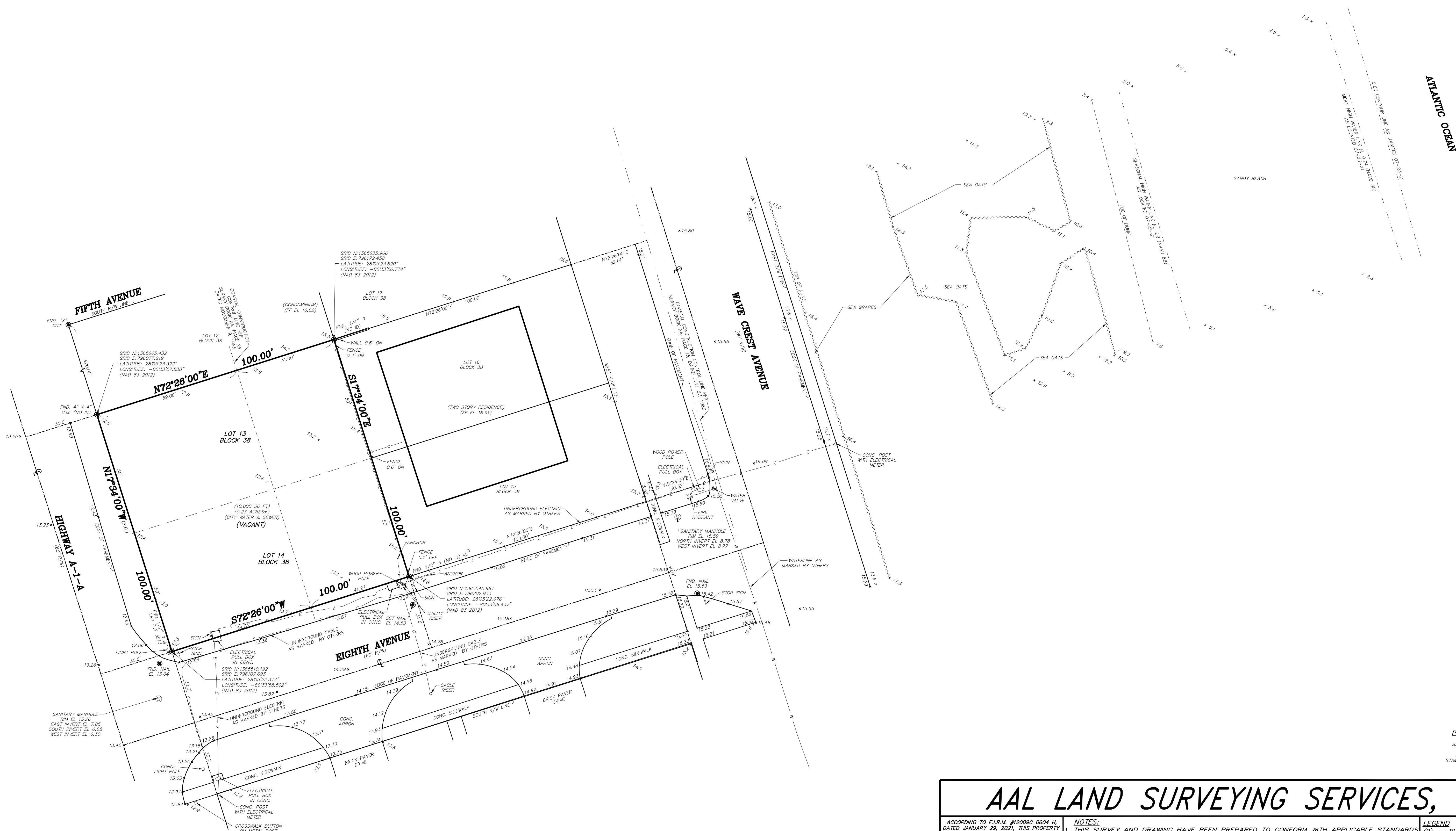


\_\_\_\_\_  
Clayton A. Bennett, PE  
FLA P.E. No. 53129

\_\_\_\_\_  
Date

This item has been digitally signed and sealed by Clayton A. Bennett, PE on the date adjacent to the seal.

Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.



PROJECT BENCHMARK  
BREVARD COUNTY  
BENCHMARK 14-1231 RESET  
3.5" FLOOR BRASS DISK  
IN CONCRETE MONUMENT  
STAMPED 76-1231-1988 RESET  
EL 15.594 (NAVD 88)  
EL 17.014 (NGVD 29)

## AAL LAND SURVEYING SERVICES, INC.

ACCORDING TO F.L.R.M. #12009C 0604 H,  
DATED JANUARY 29, 2021, THIS PROPERTY  
IS LOCATED WITHIN FLOOD ZONE X.

### BOUNDARY SURVEY

SCALE: 1" = 20'



JOB # 45500

REVISION: \_\_\_\_\_

REVISION: \_\_\_\_\_

REVISION: \_\_\_\_\_

REVISION: \_\_\_\_\_

FIELD SURVEY DATE: 07/23/21

SECTION 31, TOWNSHIP 27 SOUTH,  
RANGE 38 EAST

L.B. #6623

### NOTES:

1. THIS SURVEY AND DRAWING HAVE BEEN PREPARED TO CONFORM WITH APPLICABLE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.
2. THIS SURVEY IS FOR THE SOLE BENEFIT OF THE PARTIES NAMED HEREON AND FOR THE SPECIFIC PURPOSE NOTED, AND SHOULD NOT BE RELIED UPON BY ANY OTHER ENTITY, AND IS NOT TRANSFERABLE UNDER ANY CIRCUMSTANCES.
3. THIS SURVEY IS NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND THE SEAL OF THE FLORIDA LICENSED SURVEYOR, AND REPRODUCTION OF THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE SURVEYOR IS HEREBY FORBIDDEN.
4. NO OPINION OF TITLE OR OWNERSHIP IS HEREBY EXPRESSED OR IMPLIED BY THE SURVEYOR.
5. THIS SURVEY WAS PREPARED FROM INFORMATION FURNISHED TO THE SURVEYOR BY THE CLIENT, AND MAY BE SUBJECT TO EASEMENTS OR LIMITATIONS EITHER RECORDED OR IMPLIED.
6. BEARINGS ARE BASED ON ASSUMED DATUM AND ON THE LINE SHOWN, AS BEING THE BASIS OF BEARINGS.
7. NO UNDERGROUND IMPROVEMENTS HAVE BEEN LOCATED UNLESS OTHERWISE SHOWN.
8. ELEVATIONS, IF SHOWN, ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988, UNLESS OTHERWISE NOTED.

3970 MINTON ROAD, WEST MELBOURNE, FL 32904 L.B. #6623

PHONE: (321)768-8110 FAX: (321)952-9771 E-MAIL: [frontdesk@aalsurvey.com](mailto:frontdesk@aalsurvey.com)

ANDREW W. POWSHOK  
P.L.S. No. 5383

DANIEL D. GARNER  
P.L.S. No. 6189

### LEGEND

- (P) - PLAT
- (M) - MEASURED
- (D) - DEED
- FND. - FOUND
- I.R. - IRON ROD
- I.P. - IRON PIPE
- C.M. - CONCRETE MONUMENT
- 6" - CENTERLINE
- R/W - RIGHT OF WAY
- PLS - PROFESSIONAL LAND SURVEYOR
- LB - LICENSE BUSINESS
- P.U. - PUBLIC UTILITY
- D.E. - DRAINAGE EASEMENT
- FF - FINISH FLOOR
- EL - ELEVATION
- DELTA - DELTA
- R - RADIUS
- ARC LENGTH - ARC LENGTH
- (B.B.) - BASIS OF BEARING
- (N.R.) - NON RADIAL
- N&D - NAIL AND DISK
- CONC. - CONCRETE
- ASPH. - ASPHALT
- P.O.L. - POINT ON LINE
- PRM - PERMANENT REFERENCE MARKER



### GENERAL STATEMENT:

THIS SITE PLAN HAS BEEN PREPARE FOR THE DEVELOPMENT OF A THREE UNIT RESIDENTIAL TRIPLEX AND ASSOCIATED SITE IMPROVEMENTS ON THE SUBJECT LOT.

### OWNER:

MJS DEVELOPMENT LLC  
7811 VERAGUA DR  
PLAYA DEL REY  
CA 90293

### ENGINEER:

BENNETT ENGINEERING & CONSULTING, LLC  
4940 RANCLAND ROAD  
MELBOURNE, FLORIDA 32934  
(321) 622-4462

### SURVEYOR:

AAL LAND SURVEYING SERVICES, INC.  
3970 WINTON ROAD,  
WEST MELBOURNE, FL 32937  
(321) 768-8110

### SITE ADDRESS:

30 EIGHTH AVE INDIALANTIC FL 32903  
40 EIGHTH AVE INDIALANTIC FL 32903  
50 EIGHTH AVE INDIALANTIC FL 32903

**PARCEL ID:** 27-38-31-E0-38-13

**ACCOUNT NO:** 2731353

**SITE AREA:** SITE AREA = ±0.23 AC (±10,000 SF)

**ZONING:** T

### LEGAL DESCRIPTION:

LOTS 13 & 14, BLOCK 38, PLAT OF INDIALANTIC BY-THE-SEA, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 3, PAGE 35, OF THE PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA.

### NATIONAL FLOOD INSURANCE INFORMATION:

(AS PROVIDED ON THE SURVEY)

MAP NO. 12009C0604H

FIRM INDEX DATE: JANUARY 29, 2021

FLOOD ZONES: "X"

### EROSION NOTES:

BEST MANAGEMENT PRACTICES SHALL BE UTILIZED TO MINIMIZE ANY ON SITE EROSIONS. IN ADDITION TO BEST MANAGEMENT PRACTICES, AS A MINIMUM, SILT FENCE SHALL BE INSTALLED AROUND THE PERIMETER OF THE DEVELOPMENT AREA TO MINIMIZE SEDIMENTATION FROM LEAVING THE SITE.

### GENERAL NOTES

1. PROPOSED BUILDING ENVELOPE INDICATES MAXIMUM EXTERIOR WALL DIMENSIONS ONLY.
2. BOUNDARY, TOPOGRAPHIC, & FLOOD PLAIN INFORMATION WAS PROVIDED BY AAL LAND SURVEYING SERVICES, INC., JOB NO. 45500, DATED SEPTEMBER 13, 2021.
3. ELEVATIONS ARE BASED ON NAVD, 1988 DATUM.
4. BEACH DUNE SYSTEM IS TO BE MAINTAINED AS SPECIFIED IN THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION PERMIT ISSUED FOR THIS PROJECT.
5. CONTOURS ARE APPROXIMATE ONLY.
6. THE SOLID WASTE WITHIN THE PROJECT SITE WILL BE PICKED UP BY CURBSIDE PICKUP.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED WITHIN ROAD AND DRAINAGE RIGHT-OF-WAY AS A DIRECT RESULT OF NEW CONSTRUCTION.
8. FLOOD ZONE ELEVATIONS ARE REFERENCED TO NAVD 1988 PER THE FEMA FLOOD ZONE MAPS.
9. THE CONTRACTOR SHALL CONTACT SUNSHINE ONE (1-800-432-4770) AND ALL CONCERNED UTILITIES AT LEAST 48 HOURS IN ADVANCE OF CONSTRUCTION OPERATIONS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY AND DOCUMENT THE ACTUAL LOCATION AND EXTENT OF ALL EXISTING UTILITIES WHICH MAY AFFECT CONSTRUCTION. EXISTING UTILITIES SHOWN ARE BASED UPON THE BEST AVAILABLE INFORMATION SUPPLIED TO THE OWNER/ENGINEER AND IS SHOWN FOR INFORMATIONAL PURPOSE ONLY. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE, TO THE SATISFACTION OF THE UTILITY OWNER.
11. THERE SHALL BE NO STORAGE OF VEHICLES OR MATERIALS EAST OF THE COASTAL SETBACK LINE.

### ZONING TABULATION: T

ITEM	REQUIRED/ALLOWED	PROVIDED
LOT AREA WEST OF R/W	10,000 SF	10,000 SF
SITE WIDTH	100 FT. MIN.	100 FT
SITE DEPTH	90 FT. MIN.	100 FT
MIN. FLOOR AREA	1,000 SF	2,925 SF (CENTER UNIT) 3,054 SF (OUTSIDE UNITS)
STRUCTURAL HEIGHT	3-STORY	3-STORIES
SET BACKS: PRINCIPLE STRUCTURE		
FRONT	25 FT	25 FT
INTERIOR	10 FT	10 FT
SIDE, CORNER	22 FT	22 FT
REAR	15 FT	15 FT
FLOOR AREA RATIO:	2.0	~11,708 SF BLDG AREA/10,000 SF OF LOT AREA = 1.2
DENSITY	20 UNITS/AC (MAX)	3 UNITS / 10,000 SF * 43,560 SF/AC = 13.07 UNITS/AC
BREEZEWAY	100 FT *30% = 30 FT	15.00'+20.33'=35.33 FT > 30 FT

### MINIMUM FINISHED FLOOR ELEVATION:

TOWN OF INDIALANTIC:

GARAGE MINIMUM OF 10" ABOVE CROWN OF ROAD.

MINIMUM GARAGE FINISHED FLOOR = 13.23'+0.83'=14.06 FT (NAVD)

LIVING SPACE MINIMUM OF 18" ABOVE CROWN OF ROAD.

MINIMUM GARAGE FINISHED FLOOR = 13.23'+1.5'=14.73 FT (NAVD)

FEMA:

FLOOD 'ZONE "X", NO ADDITIONAL REQUIREMENTS

FDEP:

THE LOWEST STRUCTURAL HORIZONTAL MEMBER SHALL BE ABOVE THE 100-YEAR FLOOD ELEVATION.

THE 100-YEAR FLOOD ELEVATION PER THE FDEP SITE-SPECIFIC DETERMINATION (CNS-BE0298) IS 13.00' NAVD.

### PARKING:

USE: SEPARATELY AND/OR PRIVATELY OWNED DUPLEX SEC. 113-337(10)2:

PARKING REQUIRED: 1.5 SPACES PER UNIT

PARKING REQUIRED: 3 UNITS \* 1.5 SPACES/UNIT = 4.5 SPACES ~ 5 SPACES

PARKING PROVIDED: TWO GARAGE PARKING SPACES PER UNIT

### FDEP CONSTRUCTION NOTES

1. TO THE BEST OF MY KNOWLEDGE THESE DESIGN PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE STANDARDS ESTABLISHED IN SECTION 62B-33.005, FLORIDA ADMINISTRATIVE CODE.
2. ALL APPLICABLE REQUIREMENTS OF FLORIDA STATUTE 370.12 (MARINE TURTLE PROTECTION ACT) SHALL BE ADHERED TO.
3. IN MARINE TURTLE NESTING AREAS, ALL FORMS OF LIGHTING SHALL BE SHIELDED, AND UTILIZE LONG WAVELENGTH LIGHT SOURCES ONLY (E.G. 560 NANOMETERS (NM) OR LONGER AND ABSENT WAVELENGTHS BELOW 560 NM) WITH ALL LAMPS RECESSED WITHIN WELL SHIELDED, FULL CUT-OFF FIXTURES OR OTHERWISE DESIGNED SO AS NOT TO DISTURB MARINE TURTLES.
4. TINTED GLASS OR SIMILAR LIGHT CONTROL MEASURES SHALL BE USED FOR WINDOWS AND DOORS WHICH ARE VISIBLE FROM THE NESTING AREAS OF THE BEACH. TINTED GLASS SHALL BE 45 PERCENT OR LESS INSIDE TO OUTSIDE LIGHT TRANSMITTANCE ON ALL NON-OPAQUE DOORS, WALLS, BALCONY, DECK RAILINGS, AND WINDOWS.
5. ALL REGULATIONS REGARDING SEA TURTLES SHALL BE OBSERVED.

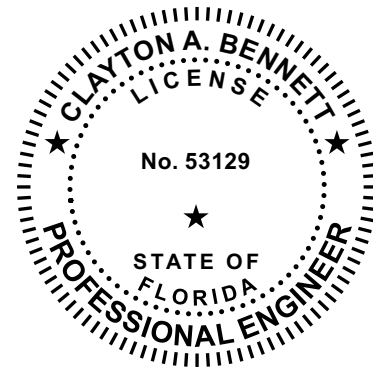
THERE SHALL BE NO IMPACT IN AREA OF VEGETATION PRESERVATION INCLUDING: THE REMOVAL OF VEGETATION; THE STORAGE OF MATERIALS; OR PARKING/OPERATION OF VEHICLES. INADVERTENT DISTURBANCE OF NATIVE VEGETATION SHALL REQUIRE IN-KIND RESTORATION TO INCLUDE SEA GRAPES, SABAL PALM, AND SCRUB OAKS, AS APPROPRIATE.



NO FILL OR CONSTRUCTION MATERIALS MAY BE PLACED OUTSIDE OF THE SILT FENCING.

### AREA TABULATIONS:

IMPERVIOUS AREA:		
PROP. BUILDINGS:	3,903 S.F.	39.0%
PROP. DRIVEWAYS:	1,261 S.F.	12.6%
PROP. WALKS & PORCH & PADS:	370 S.F.	2.8%
TOTAL IMPERVIOUS	5,534 S.F.	55.3%
TOTAL PERVIOUS	4,466 S.F.	44.7%
TOTAL SITE	10,000 S.F.	100%



This item has been digitally signed and sealed by Clayton A. Bennett, PE on the date adjacent to the seal.

Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

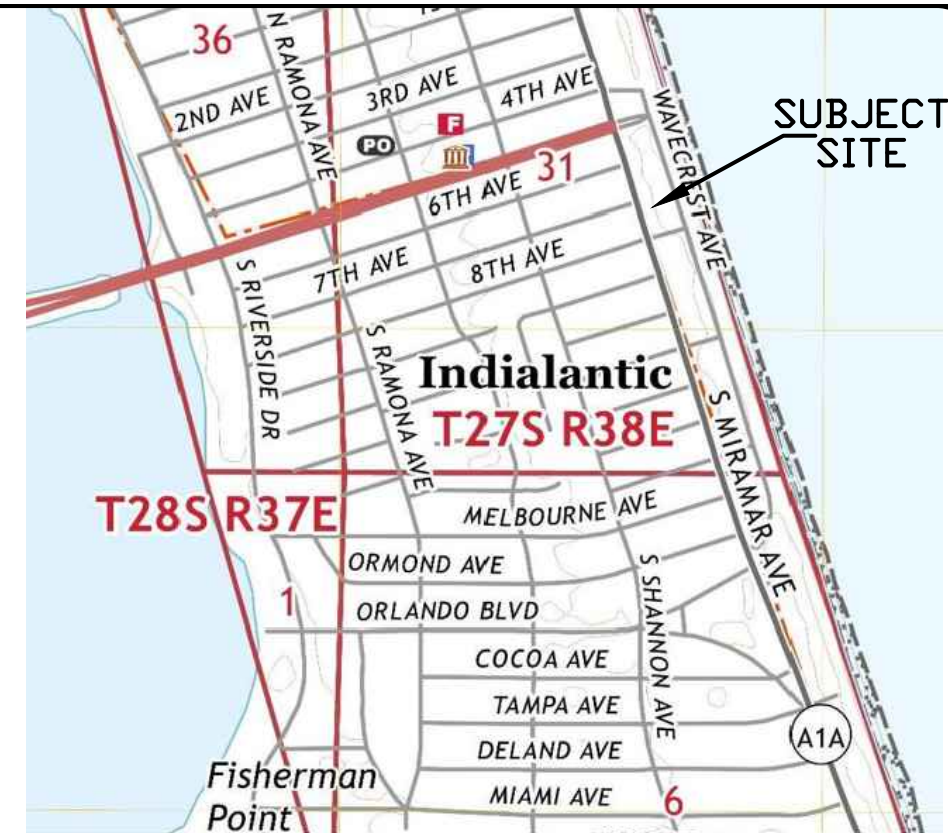
THIS DOCUMENT IS NOT TO BE USED FOR CONSTRUCTION UNLESS SIGNED HERE:

DATE

DESIGNED: CAB	DATE 7/8/2021
DRAWN BY: CAB	7/8/2021
CHECKED:	
APPROVED:	
ACAD CODE: 21400M01.DWG	
PROJECT NO: 21.400	

PLOT PLAN

C-1  
SHEET 1 OF 5



TOWNSHIP 27S, RANGE 38E, SECTION 31

VICINITY MAP  
NTS

BEC Bennett Engineering & Consulting

4940 RANCLAND ROAD  
MELBOURNE, FL 32934  
(321) 622-4462  
FAX (321) 622-4462  
CA# 28236

CLAYTON A. BENNETT  
P.E. NO. 53129  
DATE

© 2021 BENNETT ENGINEERING & CONSULTING, LLC.



CONSTRUCTION NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR CHECKING ACTUAL SITE CONDITIONS PRIOR TO BIDDING ON THE PROJECT.
2. THERE SHALL BE NO CHANGE OR DEVIATION FROM THESE PLANS WITHOUT PRIOR APPROVAL BY THE ENGINEER AND THE APPROPRIATE GOVERNMENT ENTITY.
3. CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS BEFORE COMMENCING WORK.
4. ANY DISCREPANCIES OR CONFLICTS ON THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IN WRITING PRIOR TO COMMENCING WORK.
5. ALL PROVISIONS IN THE EROSION AND SEDIMENT CONTROL SHALL BE ADHERED TO.
6. THE CONTRACTOR SHALL CONTACT SUNSHINE ONE (1-800-432-4770) AND ALL CONCERNED UTILITIES AT LEAST 48 HOURS IN ADVANCE OF CONSTRUCTION OPERATIONS.
7. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY AND DOCUMENT THE ACTUAL LOCATION AND EXTENT OF ALL EXISTING UTILITIES WHICH MAY AFFECT CONSTRUCTION. EXISTING UTILITIES SHOWN ARE BASED UPON THE BEST AVAILABLE INFORMATION SUPPLIED TO THE OWNER/ENGINEER AND IS SHOWN FOR INFORMATIONAL PURPOSE ONLY. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE, TO THE SATISFACTION OF THE UTILITY OWNER.
8. THE CONTRACTOR SHALL CLEAR AND GRUB BY REMOVING ALL TREES, SHRUBS, STUMPS, ROOTS MUCK, AND OTHER DELETERIOUS MATERIAL FROM UNDER PROPOSED BUILDINGS, PAVEMENT, RETENTION AREAS, ETC. PRIOR TO FILLING. ALL FILL MATERIAL USED ON SITE SHALL BE VOID OF STUMPS, ROOTS, MUCK AND ALL OTHER DELETERIOUS MATERIALS.
9. CLEARING, GRUBBING, STRIPPING AND COMPACTION SHALL BE OBSERVED BY THE ENGINEER OR HIS DULY APPOINTED REPRESENTATIVE PRIOR TO FILLING.
10. ALL DISTURBED OPEN AREAS WITHIN THE PROJECT SITE SHALL BE SODDED AS INDICATED. ALL OTHER AREAS SHALL BE SEEDED AND MULCHED. ALL SODDING AND SEEDING AND MULCHING SHALL BE IN PLACE PRIOR TO THE FINAL ENGINEERING INSPECTION.
11. THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL REGRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED OR COMPLETION AND ACCEPTANCE OF THE CONSTRUCTION, WHICHEVER OCCURS LATER.
12. UNLESS OTHERWISE NOTED, ALL EARTH SLOPES STEEPER THAN 5H:1V SHALL BE SODDED.
13. PRIOR TO PROCEEDING WITH SODDING OF RETENTION AREAS, THE CONTRACTOR SHALL VERIFY GROUND ELEVATIONS AND REMOVE ALL SEDIMENT DEPOSITS.
14. ALL PROPOSED GROUND ELEVATIONS ARE FINISHED SOD ELEVATIONS. FINISHED EARTHWORK GRADING SHALL BE 0.2 FEET BELOW ELEVATIONS SHOWN TO ALLOW FOR SOD THICKNESS.
15. DRIVEWAYS/ROADWAYS SHALL BE COMPACTED AND STABILIZED PRIOR TO CONSTRUCTION OF BUILDINGS TO PROVIDE ACCESS FOR EMERGENCY VEHICLES.
16. UNLESS OTHERWISE NOTED, ALL CONCRETE USED ON SITE SHALL HAVE A MINIMUM COMPRESSION STRENGTH OF 3,000 PSI IN 28 DAYS.
17. ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTION AS INDICATED ON THE DRAWINGS.
18. WHERE NEW PAVEMENT MEETS THE EXISTING PAVEMENT, THE CONTRACTOR SHALL SAW CUT THE EXISTING PAVEMENT FOR A SMOOTH AND STRAIGHT JOINT AND MATCH THE EXISTING PAVEMENT ELEVATION WITH THE PROPOSED PAVEMENT FOR A FLUSH JOINT EXCEPT WHERE ASPHALT PAVEMENT ABUTS CONCRETE PAVEMENT, IN WHICH CASE THE FINISHED ELEVATION OF THE ASPHALT SHALL BE 1/4-INCH HIGHER THAN THE CONCRETE.
19. ALL SIDEWALKS AND SIDEWALK CROSSINGS SHALL BE CONSTRUCTED IN ACCORDANCE WITH FDOT STANDARD INDEX #304 AND #310, AND THE AMERICAN DISABILITIES ACT (ADA).
20. ALL TRAFFIC SIGNING AND PAVEMENT MARKINGS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE MANUAL ON TRAFFIC CONTROL DEVICES (MUTCD), FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT), AND BREVARD COUNTY STANDARDS.
21. ALL PAVEMENT MARKINGS (OTHER THAN TO DELINEATE PARKING SPACES) SHALL BE THERMOPLASTIC (90 MIL MIN).
22. ALL ROOF DRAINAGE SHALL BE DIRECTED TO THE ONSITE STORMWATER MANAGEMENT BASIN.

BREVARD COUNTY SEWER NOTES:

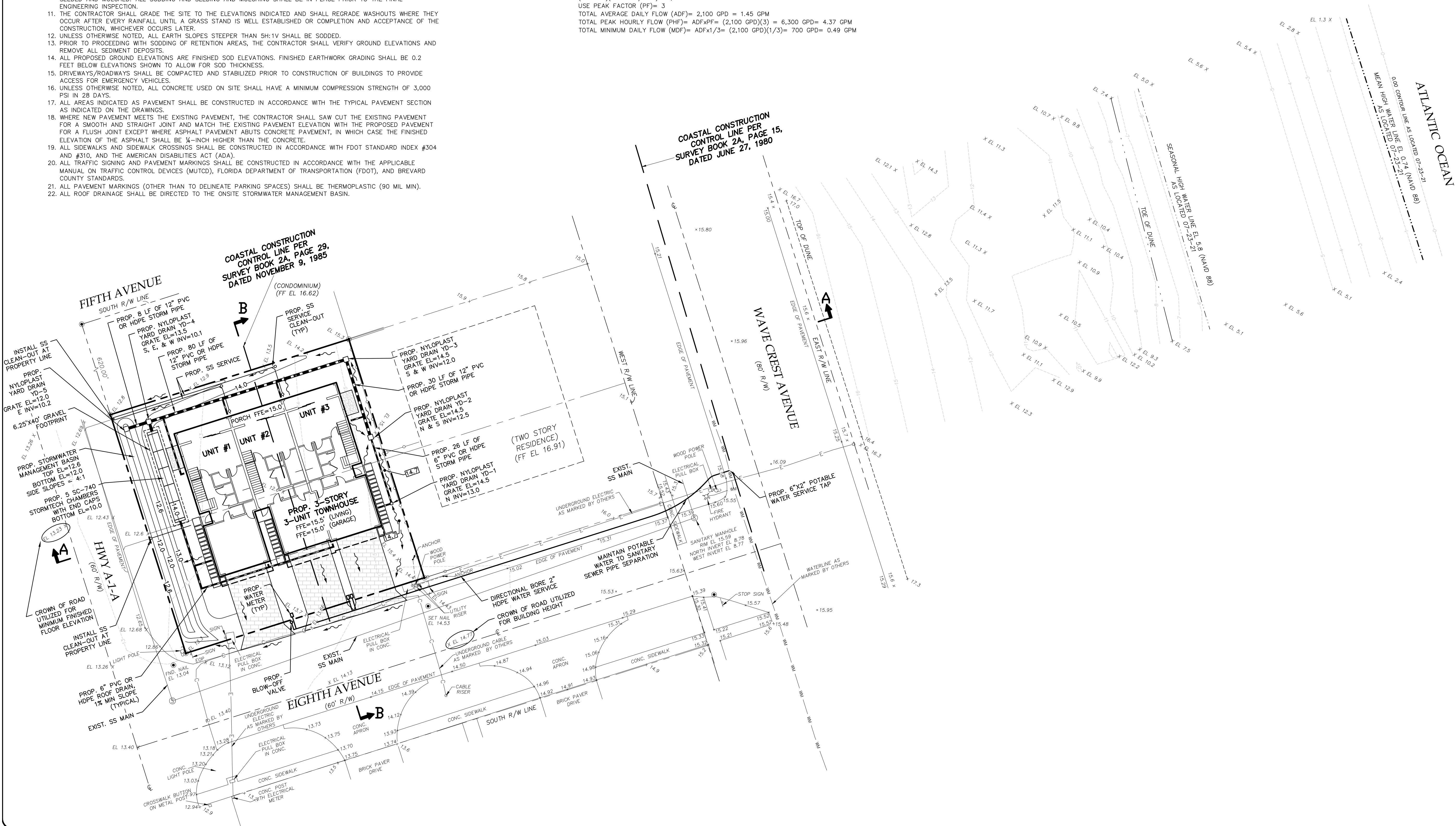
1. ALL MATERIALS, INSTALLATION, TESTING AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT REQUIREMENTS AND SPECIFICATIONS OF BREVARD COUNTY UTILITIES DEPARTMENT AND THE REGULATIONS OF THE DEPARTMENT OF ENVIRONMENTAL PROTECTION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING THE ENGINEER WITH AS-BUILT DRAWINGS MEETING THE REQUIREMENTS OF BREVARD COUNTY, FDEP, AND THE ENGINEER.
3. ALL SANITARY SEWER CONSTRUCTION SHALL CONFORM WITH THE CRITERIA FOR WATER AND SANITARY SEWERAGE SYSTEMS WITHIN BREVARD COUNTY, REVISED JANUARY 2016.
4. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE UTILITY SERVICE DEPARTMENT AT 633-2089 TO SCHEDULE A PRE-CONSTRUCTION MEETING.

SANITARY SEWER CALCULATIONS

RESIDENTIAL UNITS = 3  
USE 350 GPD/UNIT  
(3 UNITS)(350 GPD/UNIT)= 2,100 GPD  
USE PEAK FACTOR (PF)= 3  
TOTAL AVERAGE DAILY FLOW (ADF)= 2,100 GPD = 1.45 GPM  
TOTAL PEAK HOURLY FLOW (PHF)= ADFxPF= (2,100 GPD)(3) = 6,300 GPD= 4.37 GPM  
TOTAL MINIMUM DAILY FLOW (MDF)= ADFx1/3= (2,100 GPD)(1/3)= 700 GPD= 0.49 GPM

CITY OF MELBOURNE NOTES:

- WATER DISTRIBUTION
1. "WATER DISTRIBUTION SYSTEM CONSTRUCTION SHALL COMPLY WITH THE CITY OF MELBOURNE TECHNICAL PROVISIONS FOR CONSTRUCTION OF WATER DISTRIBUTION SYSTEM, ISSUE DATE JULY 2016"



SCALE: 1"=20'

MJS DEVELOPMENT LLC  
7811 VERAGUA DR, PLAYA DEL REY  
CA 90293

MJS DEVELOPMENT LLC

NO.	DATE	REVISION
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BEC Bennett Engineering & Consulting

4940 RANCHLAND ROAD  
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CLAYTON A. BENNETT  
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CA# 28236  
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ACAD CODE: 21400M01.DWG	
PROJECT NO: 21.400	

PAVING, GRADING, DRAINAGE & UTILITY PLAN

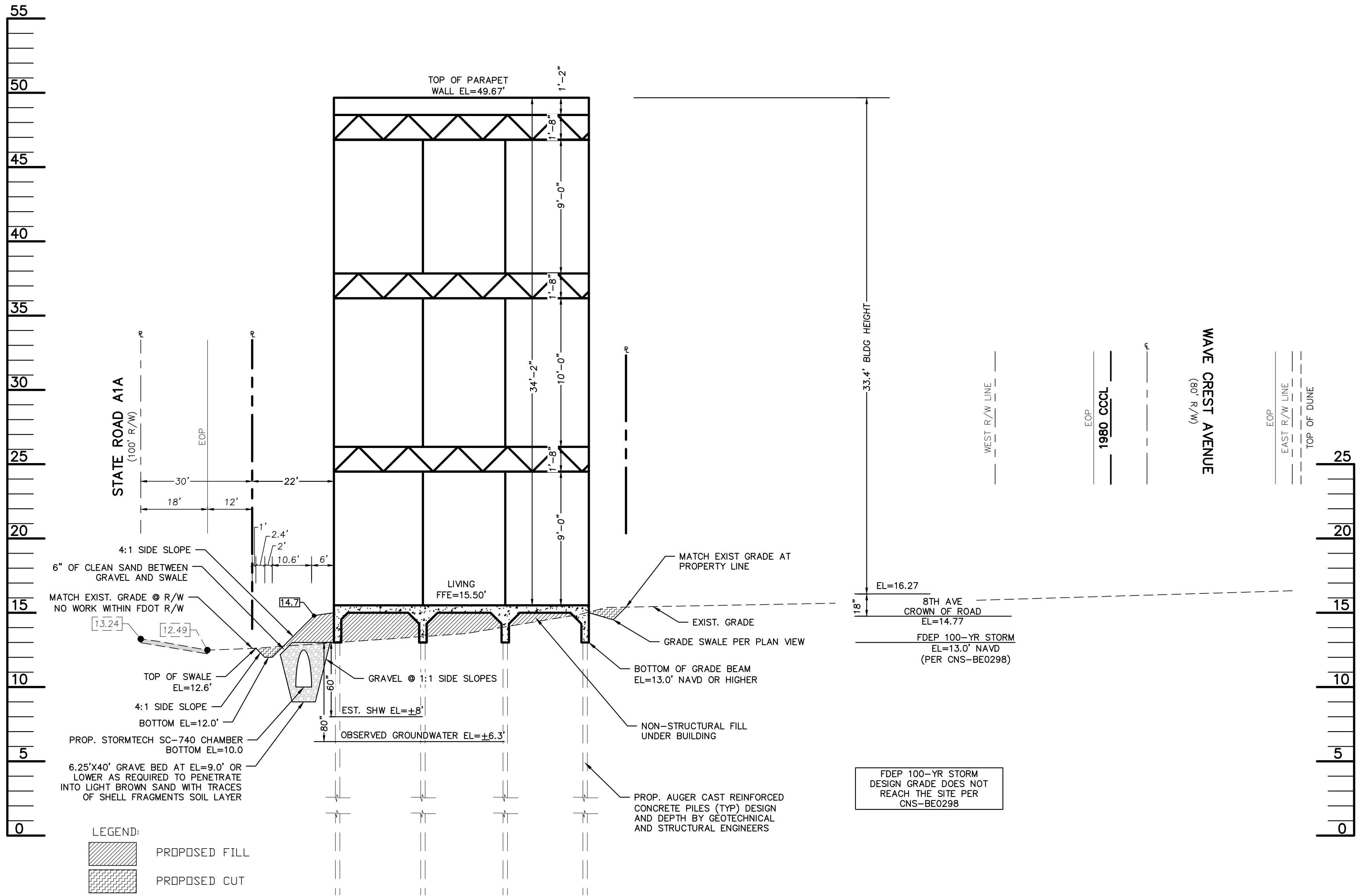
C-2  
SHEET 2 OF 5



IMPORT FILL NOTES

ONLY BEACH COMPATIBLE FILL SHALL BE PLACED ON THE BEACH OR IN ANY ASSOCIATED DUNE SYSTEM. ALL FILL MATERIAL PLACED SEAWARD OF THE CCCL SHALL BE SAND WHICH IS SIMILAR TO THAT ALREADY EXISTING IN THE SAME FIXED COASTAL CELL IN COLORATION, GRAIN SIZE, AND COMPOSITION. BEACH COMPATIBLE FILL IS MATERIAL THAT MAINTAINS THE GENERAL CHARACTER AND FUNCTIONALITY OF THE MATERIAL OCCURRING ON THE BEACH AND IN THE ADJACENT DUNE AND COASTAL SYSTEM. SUCH MATERIAL SHALL BE PREDOMINATELY OF CARBONATE, QUARTZ OR SIMILAR MATERIAL WITH A PARTICLE SIZE DISTRIBUTION RANGING BETWEEN 0.062MM (4.0) AND 4.76MM (-2.25) (CLASSIFIED AS SAND BY EITHER THE UNIFIED SOILS OR THE WENTWORTH CLASSIFICATION), SHALL BE SIMILAR IN COLOR AND GRAIN SIZE DISTRIBUTION (SAND GRAIN FREQUENCY, MEAN AND MEDIAN GRAIN SIZE AND SORTING COEFFICIENT) TO THE MATERIAL IN THE EXISTING COASTAL SYSTEM AT THE PLACEMENT AREA AND SHALL NOT CONTAIN:

- (A) GREATER THAN 5 PERCENT, BY WEIGHT, SILT, CLAY OR COLLOIDS PASSING THE #230 SIEVE (4.0);  
(B) GREATER THAN 5 PERCENT, BY WEIGHT, FINE GRAVEL RETAINED ON THE #4 SIEVE (-2.25);  
(C) COARSE GRAVEL, COBBLES OR MATERIAL RETAINED ON THE 3/4 INCH SIEVE IN A PERCENTAGE OR SIZE GREATER THAN FOUND AT THE PLACEMENT AREA;  
(D) CONSTRUCTION DEBRIS, CLAY BALLS OR FOREIGN MATTER; OR,  
(E) MATERIAL THAT RESULTS IN CEMENTATION OF THE BEACH.

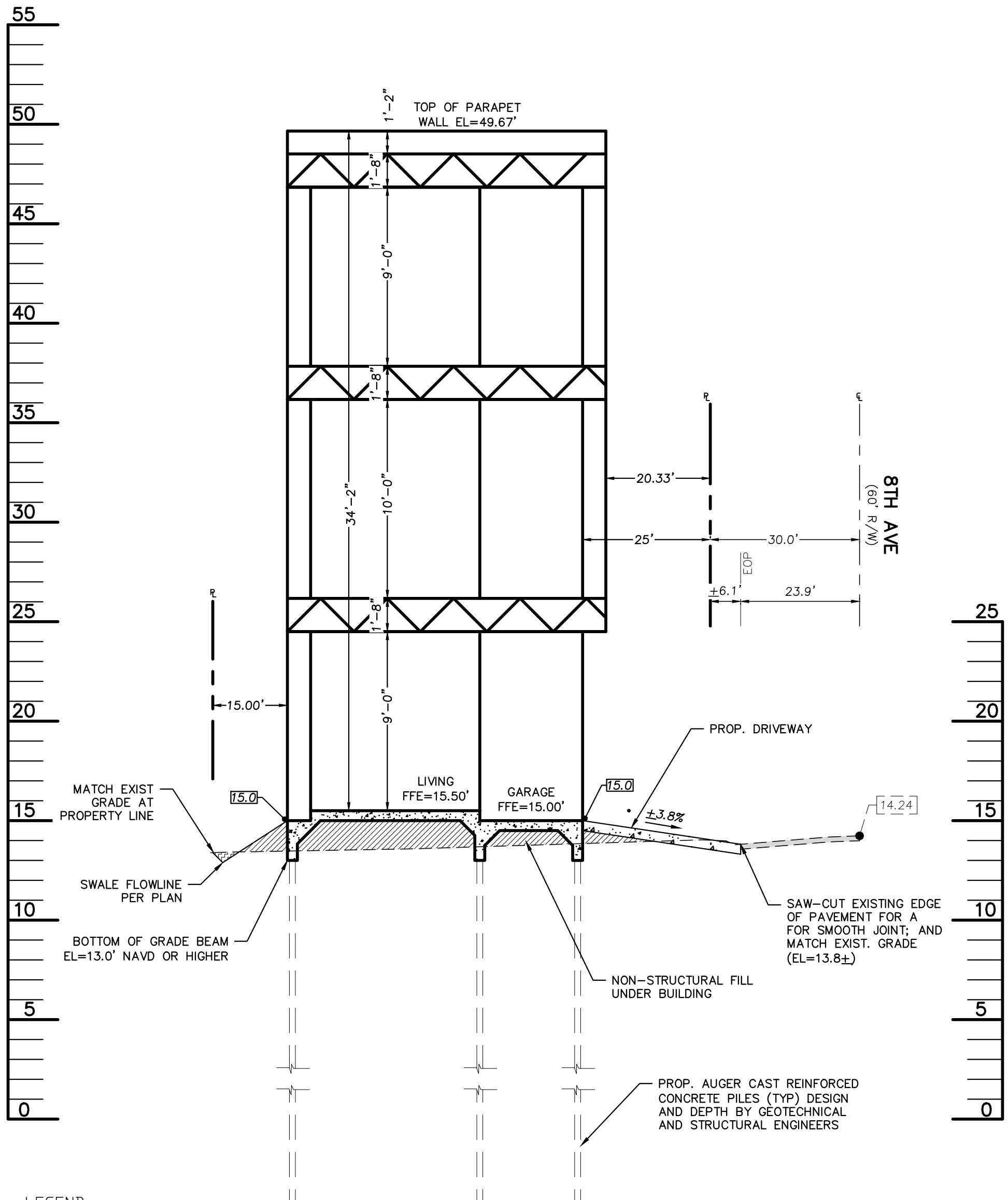


SECTION A-A

PROPOSED EARTHWORK  
SEAWARD OF 1985 CCCL

ITEM	EXCAVATION (CY)	FILL (CY)
PILES	40	0
UNDER BUILDING	0	80
DRIVEWAY & OPEN AREA	10	20
TOTAL	50	100

FILL > EXCAVATION : NET IMPORT SITE



SECTION B-B

MJS DEVELOPMENT LLC  
7811 VERAGUA DR, PLAYA DEL REY  
CA 90293

SCALE: 1"=20'

MJS DEVELOPMENT LLC

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BEC Bennett Engineering & Consulting  
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CLAYTON A. BENNETT  
P.E. NO. 53129

DATE

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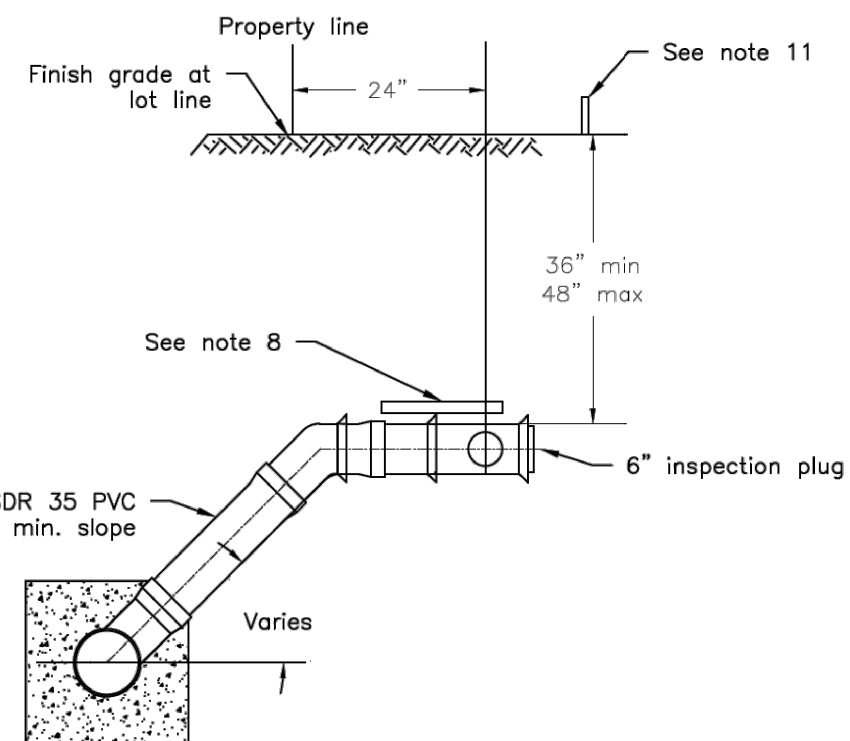
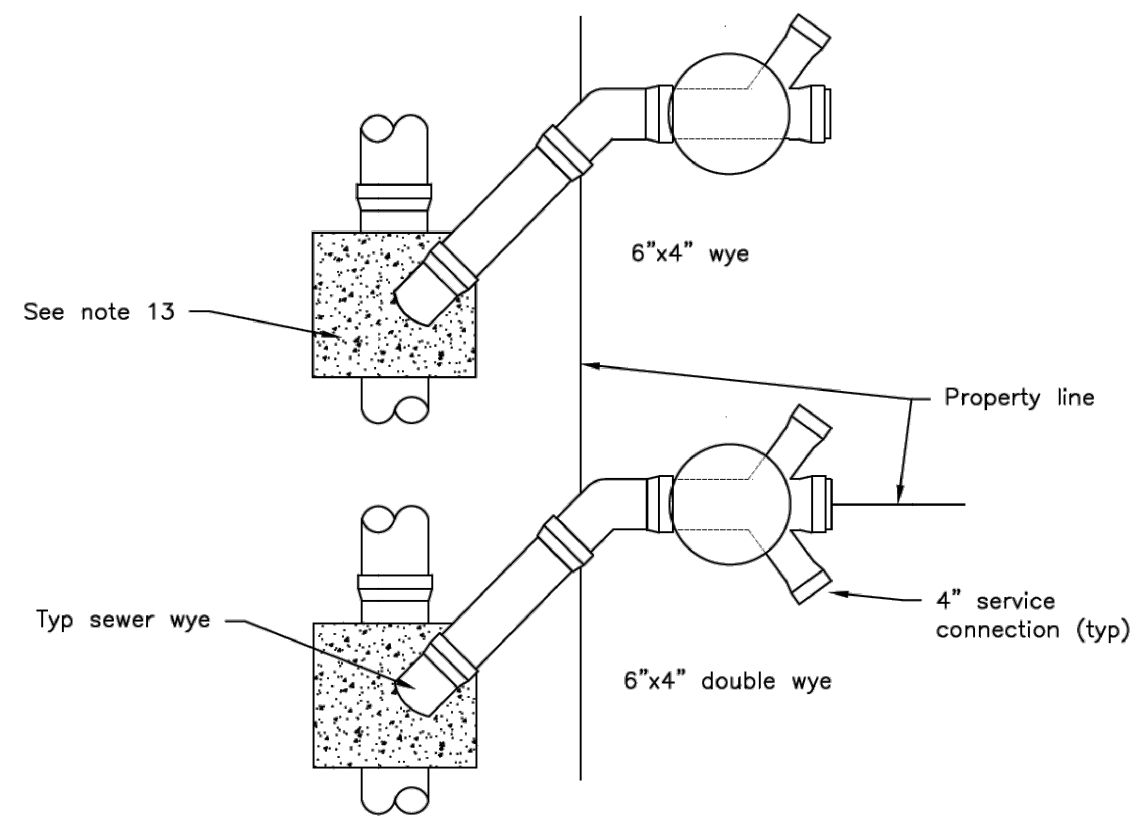
SITE SECTION  
AND DETAILS

C-3

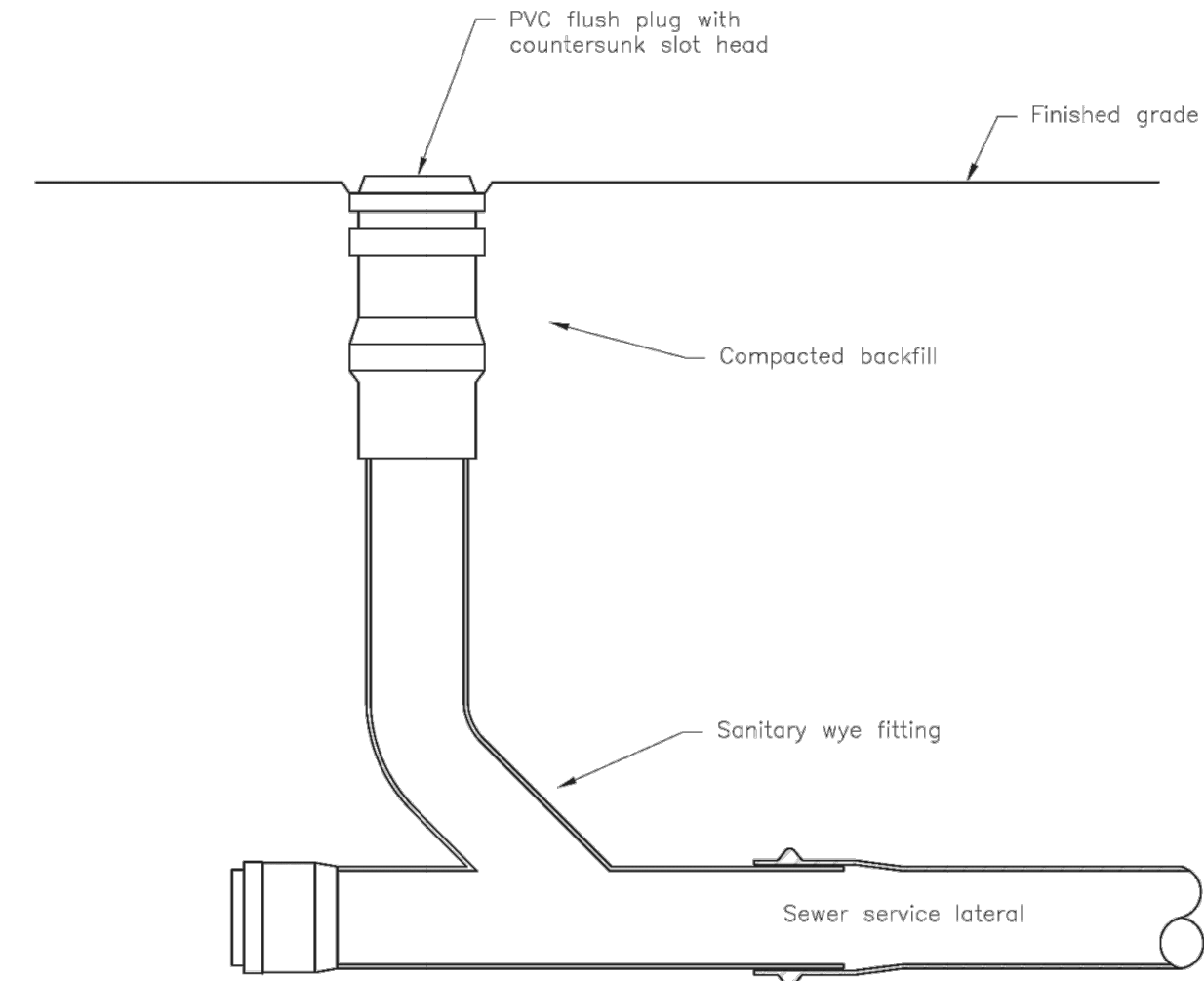
SHEET 3 OF 5

1. Service laterals must be located in front of the property to be served.
2. Service laterals shall extend two feet inside the property and shall be constructed regardless of benefit to or ownership of adjacent lots or parcels.
3. Service laterals are to be located in side property easements.
4. Service laterals shall be located to avoid conflict with other utilities.
5. Number and location of service laterals for large parcels shall be determined on a case-by-case basis.
6. Service laterals shall be located at the opposite property line when in conflict with storm drainage systems.
7. Service lateral locations shall be marked along the outside edge of curb with a sawcut "S" or by a metal tab set into the pavement for roadways without curb.
8. Electronic marker disks are required.
9. Pipe and fittings for service laterals shall be of the same material as the main and shall meet the requirements of ASTM D1784.
10. Each service shall be staked prior to installation by an engineer or surveyor registered in the State of Florida or an employee under his direct supervision.
11. Location and finished grade of ground shall be staked where the lateral crosses the right of way line prior to installation.
12. Service laterals shall be provided for sewer service to adjacent lots and parcels when a gravity sewer main is constructed.
13. Concrete encasement required for all piping except PVC. PVC connections will be made with a standard PVC sewer wye and a gasketed slip-on fitting.
14. All services shall be six inches in diameter.
15. Service laterals shall not be connected to sewer main "future stubs".
16. Service connections shall not terminate directly into a manhole.

	Sewer Service Connection Notes	US-10
Brevard County Utility Services		November 2020



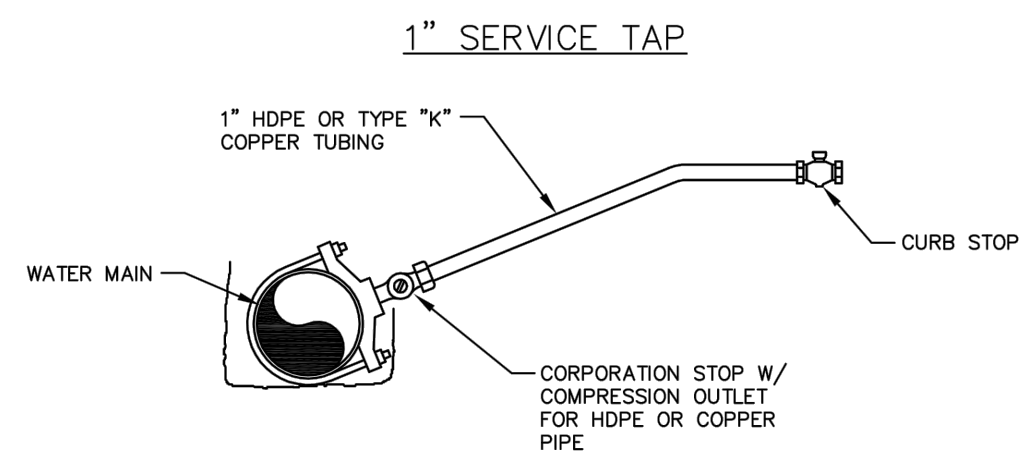
Scale 1/2" = 1 foot	Sewer Service Connection	US-11
Brevard County Utility Services		November 2020



NOTES:

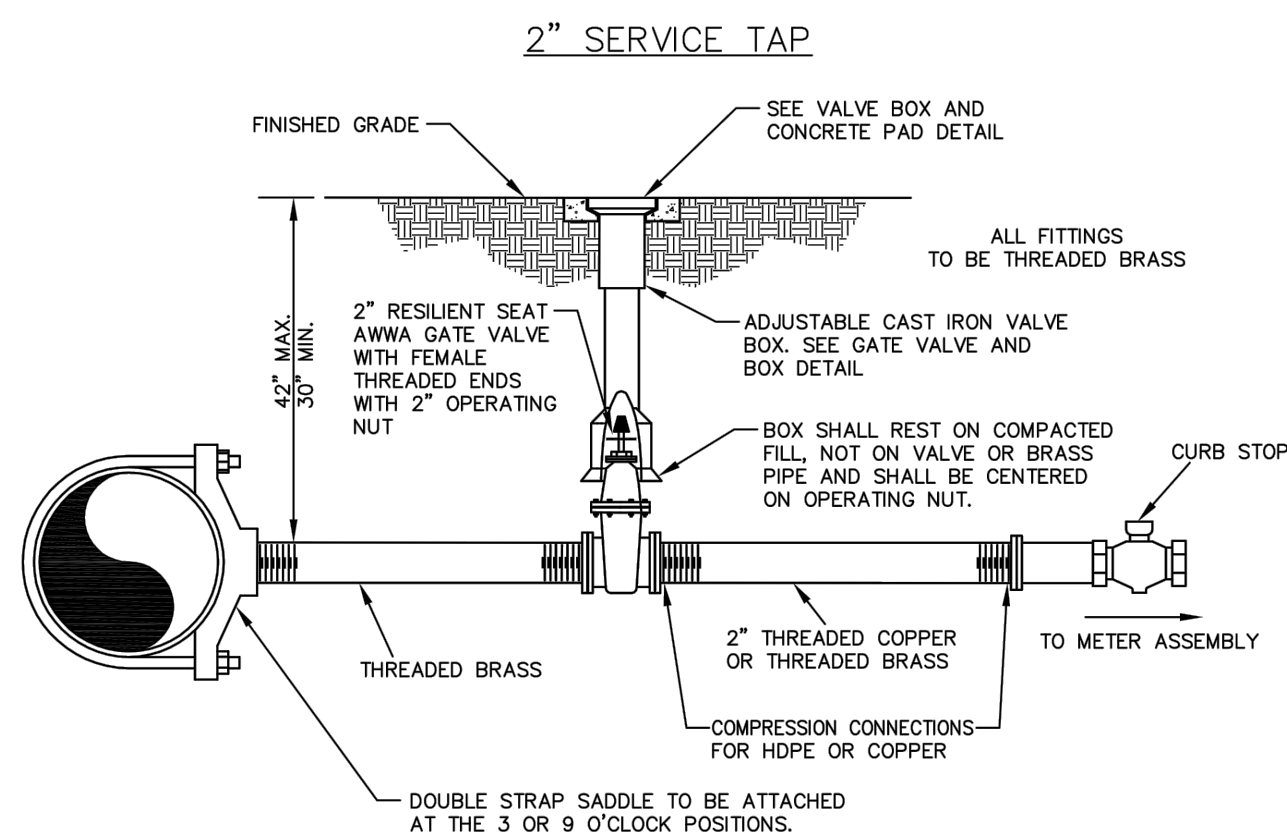
1. Cleanout diameter to match service lateral diameter.
2. Maximum spacing distance between cleanouts is 100 feet.
3. All cleanouts within vehicular traffic areas to have traffic bearing covers.
4. Cleanouts shall not be located in sidewalks or driveways.
5. Cleanouts shall not be substituted for manholes or installed at the end of mains.
6. Cleanouts shall be installed within 2' of the property or easement line.
7. Cleanouts are not permitted in stormwater treatment or conveyance systems.

Scale 1" = 1 foot	Sewer Cleanout	US-12
Brevard County Utility Services		November 2020

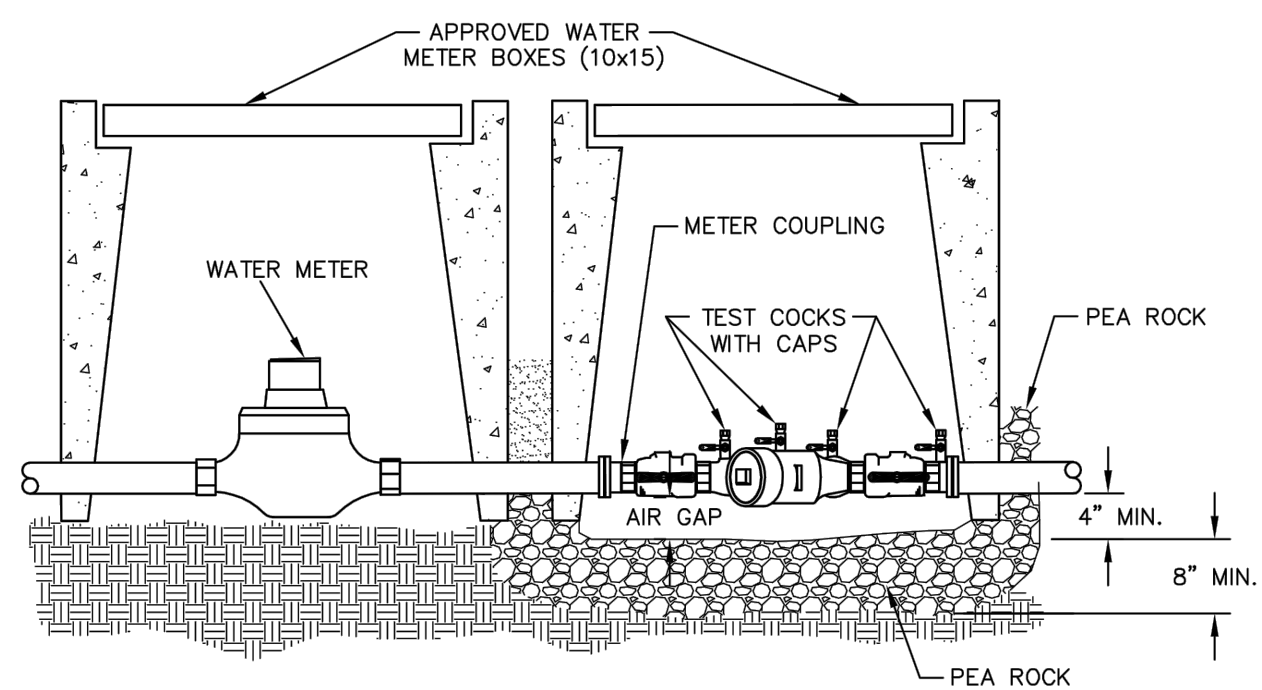


MAIN SIZE	OUTLET SIZE	SERVICE SADDLE
4"	1"	SINGLE STRAP
	2"	DOUBLE STRAP
6"	1"	SINGLE STRAP
	2"	DOUBLE STRAP
8" & LARGER	1"	SINGLE STRAP
	2"	DOUBLE STRAP

PIPE SIZE	OUTLET SIZE
4"	2"
6"	2"
8"	2"
10"	2"
12" & GREATER	2"

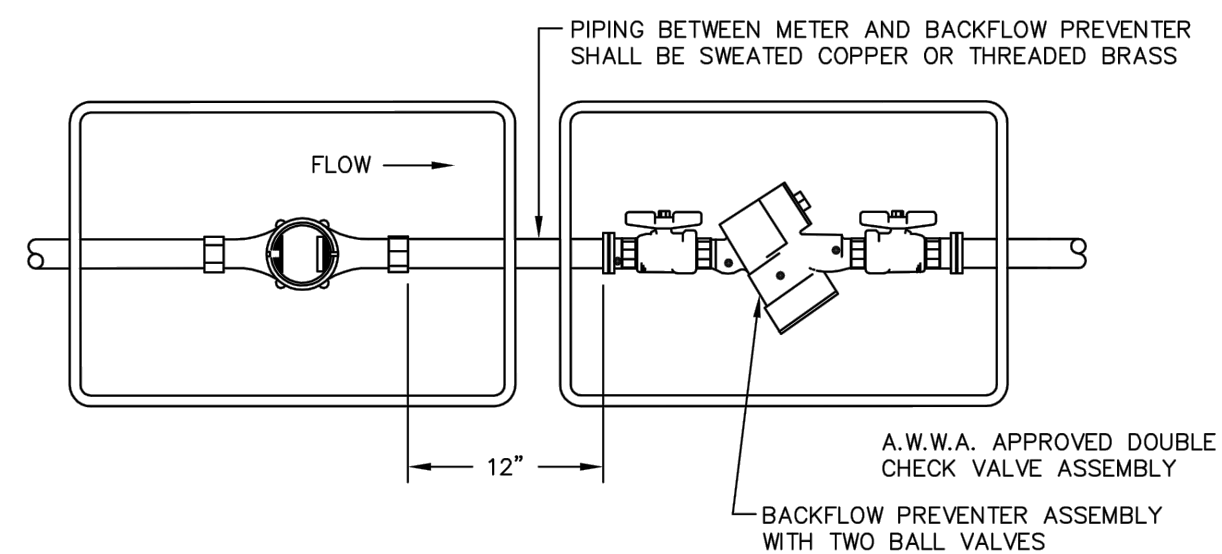


TYPICAL SERVICE SADDLE CONNECTION – POTABLE AND RECLAIMED					
REV'D		REV'D			
DATE	7/1/16	JOB NO		CITY OF MELBOURNE	SCALE
		DESIGN NO		UTILITIES ADMINISTRATION	N.T.S.
DRAWN BY	J.R.P.	CHECKED BY	L.A.M.		DWG NO
					A-119



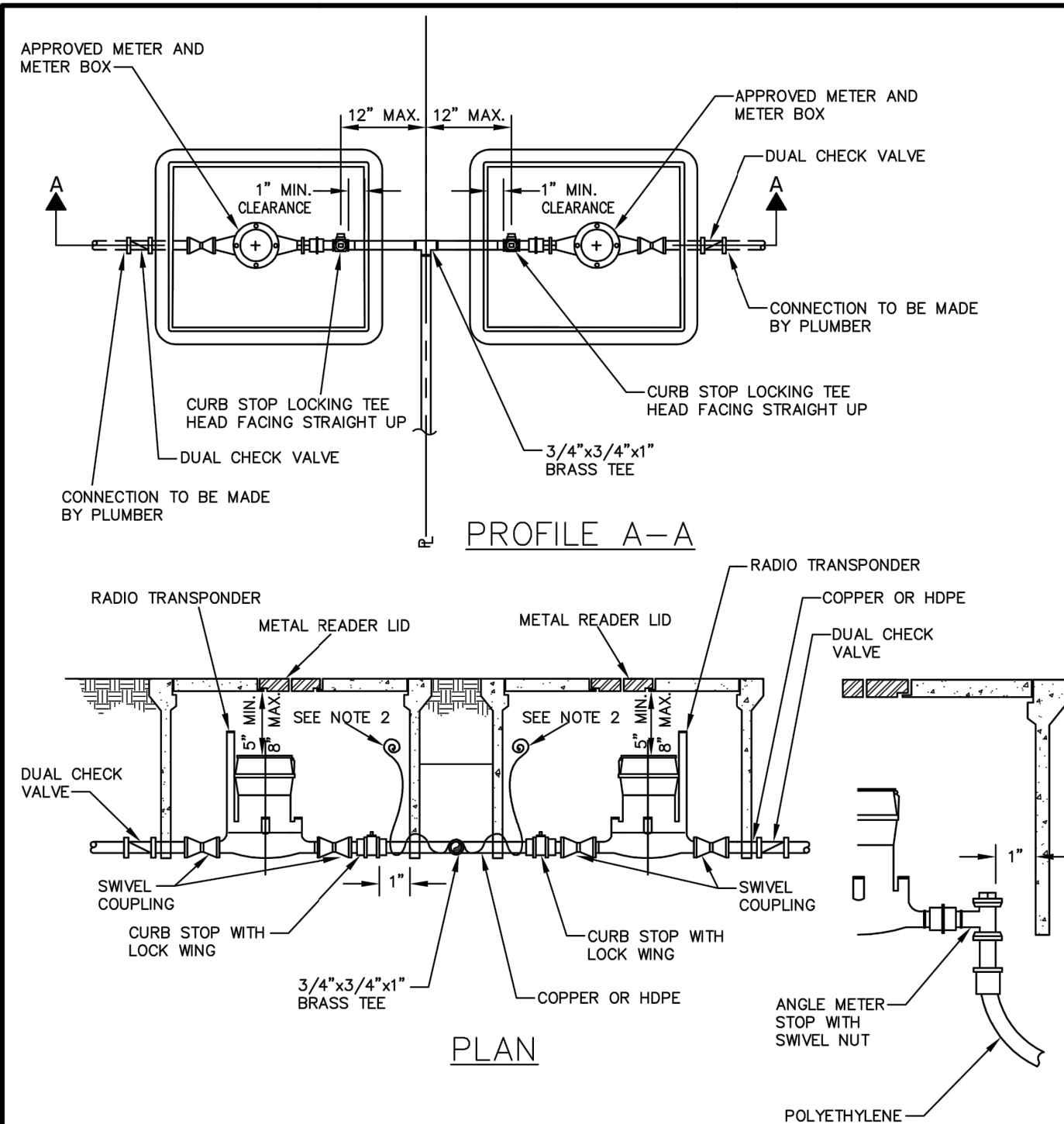
WATER METER AND BACKFLOW PREVENTER SET UP REPRESENTED IS REQUIRED IN RESIDENTIAL AREAS WHERE RECLAIMED WATER IS AVAILABLE FOR RESIDENTIAL USE

## PROFILE



TEST COCK ADAPTERS ARE TO BE INSTALLED AND LEFT IN PLACE FOR FUTURE USE ON ALL "NEW" INSTALLATIONS. BACKFLOW PREVENTER TO BE PROVIDED BY CONTRACTOR AND INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. BACKFLOW PREVENTER AND ASSOCIATED PIPING TO BE MAINTAINED BY CUSTOMER.

RESIDENTIAL POTABLE WATER METER WITH DOUBLE CHECK ASSEMBLY			
REV:		REV:	
DATE:	7/1/16	JOB NO.:	
CITY OF MELBOURNE		SCALE:	N.T.S.
DESIGN BY:	C.S.	UTILITIES ADMINISTRATION	
BY:	L.A.M.	DWG NO.	A-202



NOTES:

1. NO SERVICE LINE SHALL TERMINATE UNDER A DRIVEWAY OR SIDEWALK.
2. TRACING WIRE FOR HDPE SERVICE LINES TO BE COILED UP INSIDE BOX SO IT CAN EXTEND A MINIMUM OF 12" OUTSIDE OF METER BOX.

RESIDENTIAL POTABLE WATER METER AND METER BOX				
REV <sup>1</sup>		REV <sup>1</sup>		
DATE:	7/1/16	JOB NO:		
DRAWN BY:	J.R.P.	DESIGN BY:	L.A.M.	
CITY OF MELBOURNE			SCALE:	N.T.S.
UTILITIES ADMINISTRATION			DWG NO:	A-210

**MJS DEVELOPMENT LLC**  
7811 VERAGUA DR, PLAYA DEL REY  
CA 90293

SCALE: AS NOTED

**MJS DEVELOPMENT LLC**

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**BEC** *Bennett Engineering & Consulting*

CLAYTON A. BENNETT  
P.E. NO. 53129

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UTILITY DETAILS

**C-4**

SHEET 4 OF 5



## STORMTECH SC-740 CHAMBER

Designed to meet the most stringent industry performance standards for superior structural integrity while providing designers with a cost-effective method to save valuable land and protect water resources. The StormTech system is designed primarily to be used under parking lots, thus maximizing land usage for private (commercial) and public applications. **StormTech chambers can also be used in conjunction with Green Infrastructure**, thus enhancing the performance and extending the service life of these practices.

### STORMTECH SC-740 CHAMBER

(not to scale)

#### Nominal Chamber Specifications

**Size (L x W x H)**  
85.4" x 51" x 30"  
2,170 mm x 1,295 mm x 762 mm

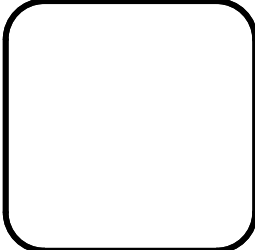
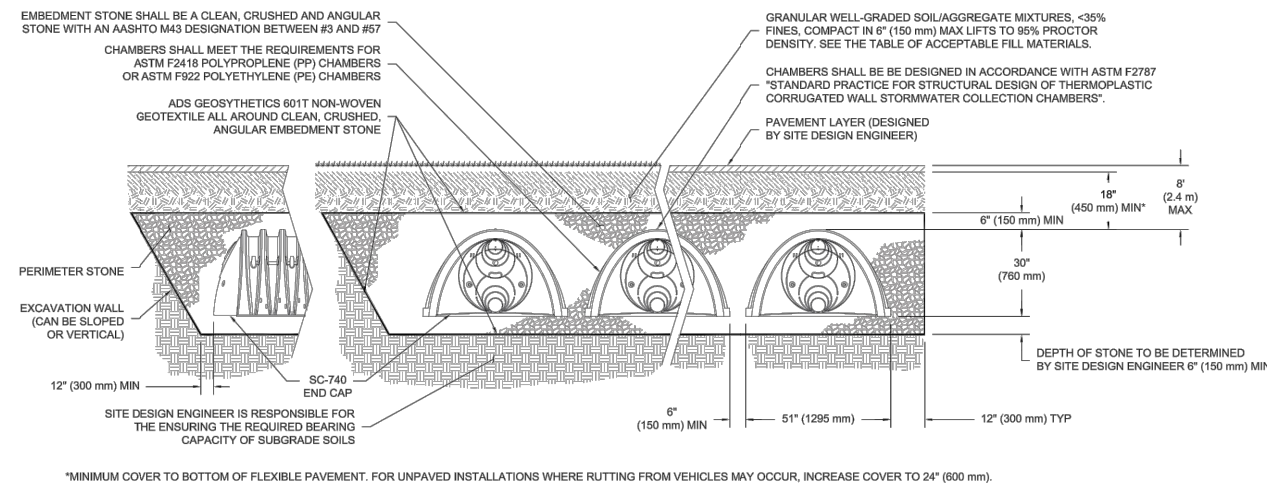
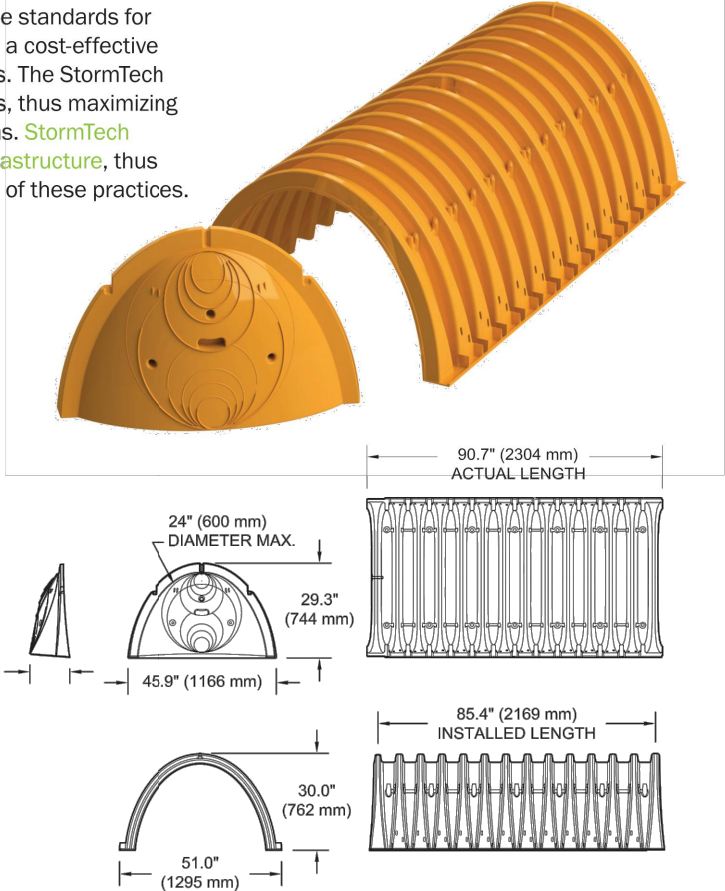
**Chamber Storage**  
45.9 ft<sup>3</sup> (1.30 m<sup>3</sup>)

**Min. Installed Storage\***  
74.9 ft<sup>3</sup> (2.12 m<sup>3</sup>)

**Weight**  
74.0 lbs (33.6 kg)

**Shipping**  
30 chambers/pallet  
60 end caps/pallet  
12 pallets/truck

\*Assumes 6" (150 mm) stone above, below and between chambers and 40% stone porosity.



SCALE: AS NOTED

**MJS DEVELOPMENT LLC**  
7811 VERAGUA DR, PLAYA DEL REY  
CA 90293

**MJS DEVELOPMENT LLC**

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PROJECT NO: 21.400	

STORM CHAMBER DETAILS  
DETAILS

**C-5**  
SHEET 5 OF 5



THIS LANDSCAPE PLAN HAS BEEN PREPARED FOR THE DEVELOPMENT OF  
A THREE UNIT RESIDENTIAL TRIPLEX AND ASSOCIATED SITE  
IMPROVEMENTS ON THE SUBJECT LOT.

MJS DEVELOPMENT LLC  
7811 VERAGUA DR, PLAYA DEL REY  
CA 90293

BENNETT ENGINEERING & CONSULTING, LLC  
4940 RANCHLAND ROAD  
MELBOURNE, FLORIDA 32334  
(321) 622-4462

AAL LAND SURVEYING SERVICES, INC.  
3970 MINTON ROAD,  
WEST MELBOURNE, FL 32937  
(321) 768-8110

30 EIGHTH AVE INDIALANTIC FL 32903  
40 EIGHTH AVE INDIALANTIC FL 32903  
50 EIGHTH AVE INDIALANTIC FL 32903

**ACCOUNT NO:** 2731353

BEST MANAGEMENT PRACTICES SHALL BE UTILIZED TO MINIMIZE ANY ON SITE EROSION. IN ADDITION TO BEST MANAGEMENT PRACTICES, AS A MINIMUM, SILT FENCE SHALL BE INSTALLED AROUND THE PERIMETER OF THE DEVELOPMENT AREA TO MINIMIZE SEDIMENTATION FROM LEAVING THE SITE.

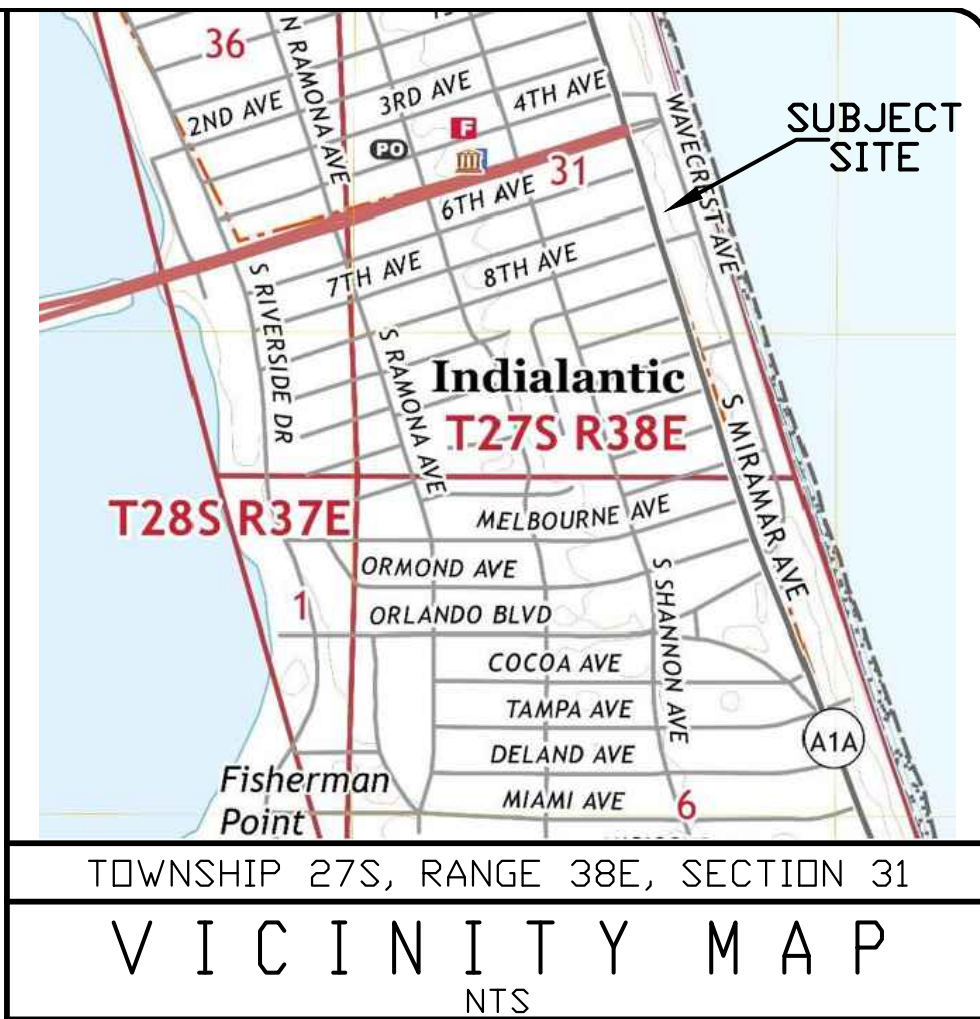
1. PROPOSED BUILDING ENVELOPE INDICATES MAXIMUM EXTERIOR WALL DIMENSIONS ONLY.
2. BOUNDARY, TOPOGRAPHIC, & FLOOD PLAIN INFORMATION WAS PROVIDED BY AAL LAND SURVEYING SERVICES, INC., JOB NO. 45500, DATED JULY 23, 2021.
3. ELEVATIONS ARE BASED ON NAVD 1988 DATUM.
4. BEACH DUNE SYSTEM IS TO BE MAINTAINED AS SPECIFIED IN THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION PERMIT ISSUED FOR THIS PROJECT.
5. CONTOURS ARE APPROXIMATE ONLY.
6. THE SOLID WASTE WITHIN THE PROJECT SITE WILL BE PICKED UP BY CURBSIDE PICKUP.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED WITHIN ROAD AND DRAINAGE RIGHT-OF-WAY AS A DIRECT RESULT OF NEW CONSTRUCTION.
8. FLOOD ZONE ELEVATIONS ARE REFERENCED TO NAVD 1988 PER THE FEMA FLOOD ZONE MAPS.
9. THE CONTRACTOR SHALL CONTACT SUNSHINE ONE (1-800-432-4770) AND ALL CONCERNED UTILITIES AT LEAST 48 HOURS IN ADVANCE OF CONSTRUCTION OPERATIONS.
10. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY AND DOCUMENT THE ACTUAL LOCATION AND EXTENT OF ALL EXISTING UTILITIES WHICH MAY AFFECT CONSTRUCTION. EXISTING UTILITIES SHOWN ARE BASED UPON THE BEST AVAILABLE INFORMATION SURVEYED, OBTAINED, OWNED/LEASED, AND IS SHOWN FOR INFORMATIONAL PURPOSE ONLY. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE, TO THE SATISFACTION OF THE UTILITY OWNER.
11. THERE SHALL BE NO STORAGE OF VEHICLES OR MATERIALS EAST OF THE COASTAL SETBACK LINE.

THERE SHALL BE NO IMPACT IN AREA OF VEGETATION PRESERVATION INCLUDING: THE REMOVAL OF VEGETATION; THE STORAGE OF MATERIALS; OR PARKING/OPERATION OF VEHICLES. INADVERTENT DISTURBANCE OF NATIVE VEGETATION SHALL REQUIRE IN-KIND RESTORATION TO INCLUDE SEA GRAPES, SABAL PALM, AND SCRUB OAKS, AS APPROPRIATE.

NO FILL OR CONSTRUCTION  
MATERIALS MAY BE  
PLACED OUTSIDE OF THE  
SILT FENCING.



1. TO THE BEST OF MY KNOWLEDGE THESE DESIGN PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE STANDARDS ESTABLISHED IN SECTION 62B-33.005, FLORIDA ADMINISTRATIVE CODE.
2. ALL APPLICABLE REQUIREMENTS OF FLORIDA STATUTE 370.12 (MARINE TURTLE PROTECTION ACT) SHALL BE ADHERED TO.
3. IN MARINE TURTLE NESTING AREAS, ALL FORMS OF LIGHTING SHALL BE SHIELDED, AND UTILIZE LONG WAVELENGTH LIGHT SOURCES ONLY (E.G. 560 NANOMETERS (NM) OR LONGER AND ABSENT WAVELENGTHS BELOW 560 NM) WITH ALL LAMPS RECESSED WITHIN WELL SHIELDED, FULL CUT-OFF FIXTURES OR OTHERWISE DESIGNED SO AS NOT TO DISTURB MARINE TURTLES.
4. TINTED GLASS OR SIMILAR LIGHT CONTROL MEASURES SHALL BE USED FOR WINDOWS AND DOORS WHICH ARE VISIBLE FROM THE NESTING AREAS OF THE BEACH OR DECK. GLASS SHALL BE 45 PERCENT OR LESS INDE TO OUTSIDE LIGHT TRANSMITTANCE ON ALL NON-OPAQUE DOORS, WALLS, BALCONY, DECK RAILINGS, AND WINDOWS.
5. ALL REGULATIONS REGARDING SEA TURTLES SHALL BE OBSERVED.



(SCALE: 1"=20'

**MJS DEVELOPMENT LLC**  
7811 VERAGUA DR, PLAYA DEL REY  
CA 90293

**MJS DEVELOPMENT LLC**

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**Bennett Engineering & Consulting**

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This item has been digitally signed and sealed  
by Clayton A. Bennett, PE on the date adjacent  
to the seal.

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LANDSCAPE PLAN

**L-1**  
SHEET 1 OF 1

